

# Real Estate Inspection Report

July 2011



## Commercial Sample Report

Inspector - Mark Phillips, Dave Short and David Hamilton  
Confidential and Proprietary

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Sample Report

# CLIENT INFORMATION



CLIENT NAME: Sample Report

CLIENT ADDRESS:

INSPECTION DATE: Thursday July 07, 2011

INSPECTION TIME: 12:30 PM

TOTAL FEE:

PAID BY:

INSPECTOR: Mark Phillips, Dave Short and David Hamilton

# Confidential Inspection Report

**Prepared for:**

This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.

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## CLIENT INFORMATION

*CLIENT NAME:* Sample Report  
*ADDRESS:*  
*CITY:*  
*INSPECTION DATE:* Thursday, July 07, 2011.  
*INSPECTION TIME:* 12:30 PM.  
*TOTAL FEE:*  
*INSPECTOR:* Mark Phillips, Dave Short and David Hamilton.

## INSPECTION CONDITIONS

**CLIMATIC CONDITIONS:**

*WEATHER:* Clear.

*TEMPERATURE:* 90's.

**BUILDING CHARACTERISTICS:**

*BUILDING TYPE:* Commercial Building.

*STORIES:* Two.

**UTILITY SERVICES:**

*UTILITIES STATUS:* The utilities were on.

**OTHER INFORMATION:**

*BUILDING OCCUPIED:* Yes.

*CLIENT PRESENT:* Yes.

## DEFINITIONS AND STANDARDS

### TERMS OF THE INSPECTION:

- SERVICEABLE:* It is the inspectors opinion that this item is doing the job for which it was intended and exhibits normal wear and tear.
- NEEDS ATTENTION:* It is the inspectors opinion that this item is in need of further investigation and/or repairs or appears to be at the end of its service life. The inspector has made the client aware of this situation by calling it "needs attention" in the report and it is then the clients responsibility to take appropriate action concerning the situation with the appropriate professional during the inspection contingency period and prior to the close of escrow.
- NOT ACCEPTABLE:* It is the inspectors opinion that this item is either a safety hazard or not functioning properly. The inspector has made the client aware of this situation by calling it "not acceptable" and it is then the clients responsibility to take appropriate action concerning the situation with the appropriate professional during the inspection contingency period and prior to the close of escrow.
- STANDARDS:*
- A. The report conforms to the Standards and Practices of the California Real Estate Inspection Association and the Business and Professions Code which defines a real estate inspection as a survey and basic operation of the systems and components of a building which can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the inspector. The purpose of the inspection is to provide the Client with information regarding the general condition of the building(s). Cosmetic and aesthetic conditions shall not be considered.
- B. A real estate inspection report provides written documentation of material defects discovered in the inspected building's systems and components which, in the opinion of the Inspector, are safety hazards, are not functioning properly, or appear to be at the ends of their service life. The report may include the Inspector's recommendations for correction or further evaluation.
- C. Inspections performed in accordance with these Standards of Practice are not technically exhaustive and shall apply to the primary building and its associated primary parking structure.

## PLUMBING SYSTEM

While some plumbing observation may be code related, this inspection does not determine if the system complies with code. Supply and waste lines are inspected only where they are accessible and while operating accessible fixtures and drains. Performance of the water flow can vary during different times of the day and performance of the drain during actual usage is undetermined. Drain blockage is common in vacant property. It is advised to have any underground drain/sewer lines examined by a specialist with a camera to determine their actual condition. The following are not included; inaccessible supply or waste lines, leaks in inaccessible areas such as walls, underground or the crawl space, the interior of pipes for mineral or corrosive clogging, water hammering, solar equipment or water temperature, and the condition of shower pans or if a shower will leak when used. No water testing of any type is performed. The type of copper, whether it is M, L, or K, is not part of this inspection and will not be determined. The gas system is not tested for leaks and any underground or hidden gas lines are specifically excluded from this report. Determining the operation of sewer ejection systems is excluded from this inspection and it should be examined by a specialist. The angle stops under sinks and other plumbing valves, such as the main shut off valve, are not turned or tested. The finish fixtures as toilets, sinks and faucets etc are covered in the Kitchen and Bathroom section of this report.

### MAIN WATER SUPPLY LINE:

*MAIN WATER LINE MATERIAL:*



### GALVANIZED PIPE

Galvanized steel piping is viewed coming out of the ground by the building and as the main water line runs underground from the street to the building, this appears to be the main water line.

MAIN WATER SHUT OFF  
LOCATION:



At the back of the building in the hall to the basement.

**WATER SUPPLY PRESSURE REGULATOR:**

CONDITION:

There was a pressure regulator observed on the water supply system. It is not known how well or if it is functioning as all its parts are enclosed inside the regulator casing.

WATER PRESSURE:

40 psi, this is serviceable. The pressure regulator on the system could be adjusted and increased if desired (and if the utility supplies a higher pressure in this area)

**INTERIOR WATER SUPPLY LINES:**

WATER SUPPLY PIPING

MATERIAL:

The interior piping that supplies the water throughout the building is a combination of copper and galvanized steel piping.

CONDITION:



**GALVANIZED PIPE**

**Needs Attention:** The water lines are a combination of copper and galvanized steel piping. Most of the upper floor plumbing appears to be copper where visible. Much of the lower floor plumbing is galvanized. The original galvanized steel piping that is left in the system has rust and is showing deterioration. Some of the original pipes have been replaced with copper piping as they wore out, which is why there is copper in the system. The remaining galvanized steel pipes will need to be replaced in the future as they continue to wear out.

**WASTE LINES:**

*WASTE LINE MATERIAL:* The piping that takes the waste water to the sewer system is made of cast iron and galvanized pipe where visible.

*CONDITION:* **Needs Attention: There are rusty areas on the exterior of the waste lines. It is not possible to tell when but they will need replacing in the future as they continue to wear out. Some are exposed as in the basement and are very rusty.**

*WASTE LINE COMMENTS:* Most of the waste lines are under the slab and in the walls of the building, they are not visible and were not inspected.

Due to the age of the building and the materials used, a sewer line inspection using a video camera is recommended to evaluate the condition of these concealed lines.

**HOSE FAUCETS:**

*CONDITION:* A sampling of the exterior hose faucets show them to be operating properly.

**GAS SYSTEM:**

*SEISMIC GAS SHUT OFF VALVE:*



There is one automatic seismic gas shut off valve for all the gas meters in the building. It is beyond the scope of this general inspection to determine its operating status or if it has been sized correctly for this gas system. If further information is desired or required it is advised to consult a qualified plumbing contractor

There is a single safety shut off valve for the 8 meters, Individual shut off valves may be recommended.

*GAS METER LOCATION:* The gas meters are located on the back of the building. There are eight meters.

*CONDITION:* It is advised to have the gas provider inspect the gas system to determine its condition and check all the gas appliances and fixtures. This is usually a free service.

**WATER HEATER:**

LOCATION:



LOCATION CONDITION:

The water heater at the right of the building is located in the upper hall closet.

**Needs Attention, there is no drain pan below the water heater, this is advised in case the water heater leaks so that the water can be carried away from the living space. There are water stains note on the closet floor.**

FUEL:

Gas.

SIZE:

50 Gallons.

AGE:

About 10 years old. Water heaters have an expected life of 8 - 12 years.

CONDITION:

**Needs Attention, the water heater is old and nearing the end of its expected life span.**

COMBUSTION AIR:

Serviceable.

WATER HEATER STRAPPING  
AND SUPPORT:

Serviceable, the water heater is strapped to help prevent movement in case of seismic activity.

TEMPERATURE/PRESSURE  
RELIEF VALVE:

**Needs Attention This uses a watts 210 gas shut off valve, which is no longer approved for use by the city of LA, it is recommended this be replaced with an approved safety valve by a plumbing contractor, ideally routed to drain to the outside.**

VENTING:

Serviceable where visible.

COMMENTS:

The adequacy or efficiency of the hot water heater cannot be determined in a limited time visual inspection. It is not known how hot the water will get or how long it will last and this is many times a matter of personal preference.

**WATER HEATER:**

*LOCATION:*



In the Comics store, 7018, Under the bathroom sink.

*FUEL:*

Electric.

*SIZE:*

2 Gallons.

*AGE:*

The age of the water heater is unknown but it appears older.

*CONDITION:*

This was unplugged and not in use, so its condition is unknown, it is old, rusty and worn, beyond its expected working life.

*WATER HEATER STRAPPING  
AND SUPPORT:*

Straps are not required for this type water heater.

*TEMPERATURE/PRESSURE  
RELIEF VALVE:*

**There is a safety TPR valve, it did not drain to a safe location as required.**

**WATER HEATER:**

LOCATION:



In the Nail Salon, 7022.

FUEL:

Electric.

SIZE:

Unknown, appears to be about 40 Gallons.

AGE:

Unknown, the name plate label is missing. This appears to be newer.

CONDITION:

Serviceable.

WATER HEATER STRAPPING  
AND SUPPORT:

Serviceable, the water heater is strapped to help prevent movement in case of seismic activity.

TEMPERATURE/PRESSURE  
RELIEF VALVE:**Needs Attention: It is recommend this drain line be installed in case this valve ever released.**

COMMENTS:

**Needs Attention: There is no drip pan under it though this is recommended.****PLUMBING COMMENTS:**

WASTE LINE COMMENTS:

The sewer lines that go out to the sewer system are installed underground and are not visible. Their condition is unknown. The only way to determine what is going on with them is to have them checked out with a camera by a specialist to determine their true condition and any needed repairs.

NOTE: there is a distinction between 'waste lines' and 'sewer lines' - while both take the drain / waste water away from sinks and toilets and out of the building, the 'waste line' is under the building, sometimes visible and sometimes not, and the 'sewer lines' start 2 feet outside the building and extends to the city sewer.

A typical 'sewer line inspection' is only the portion outside the building to the city sewer, and not under the building. Some sewer line inspection specialists can also inspect the 'waste / drain' lines actually under the building, using a smaller video camera system. This is a separate specialty inspection.

IMPORTANT! a recent change in LA building code requires that any structure built before 1965 that is undergoing plumbing repair or building remodeling with permits is required to have a video inspection of the sewer line between the building and the public sewer main to check for the presence of concrete sewer pipe, and if found, this may need to be repaired or replaced.

GENERAL COMMENTS:

The majority of the water supply pipes, waste lines and gas lines are underground, in walls or installed in concealed parts of the structure and thus are not visible. Their condition cannot be determined and no representation is made as to their status.

## ELECTRICAL SYSTEM

Electrical features are operated with normal controls. The general wiring, switches, outlets and fixtures are randomly checked in accessible areas. Wiring in the main box is inspected by removing the cover if accessible. While some observations may be code related, this inspection does not determine if the system complies with code. The inspection does not determine electrical capacity, determine over current capacity for any item including appliances, compare circuit breaker capacity to installed appliance rating. Also excluded are interior or exterior low voltage wiring or fixtures, telephone, security, intercom, stereo, cable or satellite TV, remote controls or timers. The exterior lighting, landscape lighting or any lighting outside the footprint of the building is not inspected. Light bulbs are not removed or changed during an inspection. This inspection does not certify or warrant the system to be free of risk of fire, electrocution or personal injury or death.



### MAIN ELECTRICAL SERVICE:

*TYPE OF ELECTRICAL SERVICE:*

There is a power pole in the back that appears to supply a transformer that appears to be the power for this building, the transformer is in the back parking lot.

This has an underground line between the transformer and the building power distribution system.

*MAIN PANEL LOCATION:*

On the back of the building.

*MAIN PANEL AMPERAGE:*

There are 8 meters and mains,  
One is 600 amps and supplies 5 subpanels, for the second floor.  
Five are 100 Amps,  
3 are 150 Amps.

These appear to be 3 phase 4 wire panels and systems, which is desirable and common in commercial buildings.

*TYPE OF CIRCUIT PROTECTION DEVICE:*

The main electrical panel is on circuit breakers (there may be main cartridge fuses behind the metal panel covers for the mains)

*MAIN PANEL CONDITION:*

Serviceable.

*MAIN PANEL CIRCUIT BREAKERS:*

Serviceable.

*GROUNDING SYSTEM:*

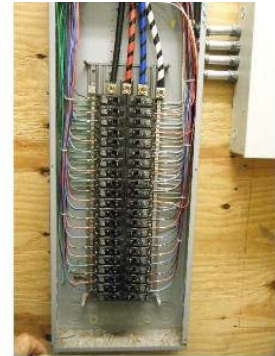
Serviceable.

**ELECTRICAL SUBPANELS:**

*SUBPANEL LOCATION:*

There are 3 panels for the 2nd floor offices, in an upstairs electrical closet, The others are mostly inside the units they serve.

*SUBPANEL CONDITION:*



Generally serviceable, however the outside panel by the trash cans in the back of the building has missing knock out openings that should be sealed, and the breakers are not labeled as to what they serve.

*SUBPANEL COMMENTS:*



(exterior panel with missing breakers and exposed live components inside.

**INTERIOR ELECTRICAL WIRING:**

*TYPE OF WIRING:*

The wiring consists of plastic insulated wires.

*TYPE OF WIRING CONDUIT:*

The conduit that carries the wiring is metal conduit.

*WIRING CONDITION:*

Serviceable generally.

**EXTERIOR ELECTRICAL:**

*CONDITION:*

The exterior lighting outside the building such as in the yard, planters and on the grounds is not part of the inspection.

**ELECTRICAL COMMENTS:**

*ELECTRICAL WIRING COMMENTS:*

Low voltage lighting and wiring is excluded from a standard property inspection including outdoor lights, phone lines, security systems and speaker systems. Regular voltage exterior lighting is also excluded.

*ELECTRICAL COMMENTS:*

The wiring is enclosed within the walls and ceilings and other parts of the structure. It is not visible and its condition cannot be fully determined. No representation is made as to its status.

## HEATING AND COOLING SYSTEM

While some observations may be code related, this inspection does not determine if the system complies with code. Weather permitting the systems are operated with normal controls. In order not to damage the system, the air conditioners are not activated if the outdoor temperature is below 65 degrees. Gas furnaces are not checked for carbon monoxide leakage or fire risks. There are carbon monoxide and fire detection devices which can be purchased and installed, which we recommend. Air ducts and registers are randomly checked for air flow. Heat exchangers are specifically excluded from the inspection. They are visually obstructed by the design of the system and a complete inspection requires special tools and disassembly, which is beyond the scope of the inspection. The following items are beyond the scope of the inspection; balance of the air flow, capacity or velocity of the air flow, humidifiers, air duct cleanliness, the ability of the system to heat or cool evenly, the presence of toxic or hazardous material or asbestos, system refrigerant levels, cooling or heating capacity to determine if its sufficient for the building, electronic air filters, solar equipment, programmable thermostats and determining the remaining life of the system. Window A/C's are not built in units and therefore not inspected.

### HEATING AND COOLING SYSTEM:



### HEATING SYSTEM:

*LOCATION:*

There appear to be 4 units and 4 zones of heating and cooling for the 3 retail spaces on the first level.

*LOCATION CONDITION:*

These are suspended from the first floor ceilings.

*SYSTEM TYPE:*

The system is a heat pump. This is an all electric system that has a condenser that pumps the refrigerant in one direction to cool the building and it goes in reverse to heat it.

*FAN AND MOTOR:*

Serviceable.

*CONDITION:*

**These were operating in cooling mode only and appeared to be generally serviceable.**

**As these use the same components for heating or cooling and to prevent damage to the systems by switching them over, these were not operated in heating.**

*THERMOSTAT:*

Serviceable.

*RETURN AIR AND FILTERS:*

**Not Acceptable** The filters are attached to the face of the units, these are dirty and damaged, and are being sucked out of place and into the units. This can allow the dust and dirt to coat the heat exchange coils and fail prematurely. These should be checked and cleaned as needed by an AC contractor.

*DUCTING AND AIR FLOW:*

Serviceable.

*GENERAL COMMENTS:*

**It is advised to have the unit serviced and cleaned to ensure a safe and properly functioning system. It is beyond the scope of the inspection to inspect the inner workings of the system This can and should be done by a licensed heating contractor at this time.**

**COOLING SYSTEM:**

*LOCATION:*



The heat pump units are located on the roof for the 4 systems.

*TYPE:*

The air conditioning is a heat pump system, this is where the heating and cooling are both electric and the refrigerant goes in one direction for heating and reverses when cooling is needed.

*CONDENSER CONDITION:*

Serviceable.

*SYSTEM CONDITION:*

Serviceable.

*CONDENSATE LINE:*

Serviceable,

*ELECTRICAL DISCONNECT:*

Serviceable.

*COMMENTS:*



**Needs Attention, the insulation on the coolant lines is deteriorated and failing, in addition to losing efficiency, the holes around the coolant lines passing through the roof create a path for water entry, and need a proper repair.**

Each of the 4 units appears to be 3 ton systems.

**HEATING AND COOLING SYSTEM:**

For the 2nd floor, there are 8 units, in similar condition.

**HEATING SYSTEM:**

*LOCATION:*

The heating unit is located on the roof.

*SYSTEM TYPE:*

The furnace is a gas-fired forced air system.

*FAN AND MOTOR:*

Serviceable.

*CONDITION:*

These are reported by Werner, the maintenance contractor for the buildings, to have been regularly serviced and maintained and that all systems were providing heating when needed several months ago.

They all had the gas lines connected, appeared to have been maintained, and were working in cooling mode.

These were not turned on to prevent undue strain to the systems, and because the weather was sufficiently hot that typically the units would not switch to heating, already being warm inside the units.

*THERMOSTAT:*

There are 10 thermostats in the 2nd floor units.

For the building facing Melrose, one unit appears to supply the back wall of offices, One unit supplies the 1/2 of the front facing offices on the east end, and appears to have 2 thermostats, with a 'zone control' system. One unit supplies 1/2 of the front facing offices on the west or center, and appears to have 2 thermostats.

For the offices on the wing facing La Brea, over the furniture store, there are 3 units and 3 thermostats for control.

*COMBUSTION AIR:*

Serviceable.

*VENTING:*

Serviceable, direct vent.

*RETURN AIR AND FILTERS:*

The filters are located inside the units behind access panels on the roof.

Werner reports that he checks the filters once each month and they had all been

DUCTING AND AIR FLOW:

GENERAL COMMENTS:

COMMENTS:

replaced recently.

Serviceable.

It is advised to keep the unit serviced and cleaned on a periodic basis to ensure a safe and properly functioning system. It is beyond the scope of the inspection to inspect the inner working of the furnace including the firebox. This can and should be done by a licensed heating contractor at this time.

**The HVAC systems do not appear to be fastened down for earthquake safety, consult with the heating contractor about this requirement.**

**COOLING SYSTEM:**

LOCATION:

TYPE:

CONDENSER CONDITION:

SYSTEM CONDITION:

The condenser for the air conditioning is located on the roof.

The air conditioning system is a roof package type, this is where the heating and cooling are packaged together in one unit outside the building.

Serviceable.



**Needs Attention** it is noted that at least one of the units appears to have repairs, there was an abandoned AC compressor pump on the roof.

The units are working but well into their expected working life.

The units are reported to be and appear to be about 10 years old.

CONDENSATE LINE:



**Not Acceptable** Most of the units have 'short' drain lines that are draining onto the flat sheet roofing. Unit G while running did not appear to have much of a condensate water flow, This may indicate the water is leaking into the unit instead and this will need to be checked and repaired as needed.

Some of the units have broken condensate drains.

*ELECTRICAL DISCONNECT:**COMMENTS:*

Serviceable These appear to be 3 phase units, which can be a more efficient system.

Unit A appears to be a 3 ton system

Unit B appears to be a 3 1/2 ton system

Unit C appears to be a 2 ton unit

Unit D appears to be a 4 ton unit

Unit F appears to be a 5 ton unit

Unit G appears to be a 2 Ton unit,

Unit H appears to be a 5 ton unit.

**HEATING AND COOLING SYSTEM:**

For the furniture store, there appear to be 2 systems and zones of heating / cooling.

**HEATING SYSTEM:***LOCATION:*

These were not located, and may be inside a ceiling space.

*SYSTEM TYPE:*

The system is a heat pump. This is an all electric system that has a condenser that pumps the refrigerant in one direction to cool the building and it goes in reverse to heat it.

*CONDITION:*

**Not Acceptable, at the time of the inspection both units were not working, as they use the same components for heating and cooling, as the AC was not working, the heating could not work either.**

**One of the units was being repaired or replaced, the work was in progress and the final result is unknown.**

*COMMENTS:*

It is reported that these systems are the responsibility of the furniture store to operate and maintain.

**COOLING SYSTEM:***LOCATION:*

Both units are located on the roof.

*TYPE:*

The air conditioning is a heat pump system, this is where the heating and cooling are both electric and the refrigerant goes in one direction for heating and reverses when cooling is needed.

*CONDENSER CONDITION:*

**Not Acceptable. One unit is in process of being replaced. This is being poorly, incorrectly installed, it is resting on the roof and not on proper support of wood beams or platform, is not secured to the structure etc.**

**The other unit was off and not working, and was also being repaired by an AC contractor.**

**HEATING AND COOLING SYSTEM:**

**Not Acceptable:** There is an additional unit on the roof that was reported to have been working 10 years ago but has failed and not been replaced. This is over the La Brea facing side of the building.

**HEATING AND COOLING COMMENTS:***COMMENTS:*

**Many of the systems are sitting directly on the roof or sitting on wood boards and not properly mounted on platforms. Also, the HVAC systems do not appear to be fastened down for earthquake safety. Consult with the heating contractor about the proper mounting of HVAC equipment on a roof condition.**

Per the California Energy Commission, "Beginning October 1, 2005, Title 24 of the Building Energy Efficiency Standards requires that ducts be tested for leaks when a central air conditioner or furnace is installed or replaced. Ducts that leak 15% or more must be repaired"

A property inspection will not be able to determine if air loss (leaky ducts etc) exceeds the maximum allowed of 15%. This test can only be done by a qualified technician and is beyond the scope of this inspection. It is advised to consult with a qualified specialist on this matter as the examination may determine that repairs or replacement of the ducting system is required.

## ROOF SYSTEM

The report is not intended to be conclusive regarding the life span of the roofing system, if it is leak free or how long it will remain leak free in the future. The inspection and report are based on visible and apparent condition at the time of the inspection. The inspection does not address manufacturing defects, fastener appropriateness, if the roof was installed per code, if flashing is present in all locations or the numbers of layers present. Unless a rain has fallen just prior to the inspection, it is not possible to determine if active leakage is occurring. Not all attic areas are readily accessible for inspection. Tile roofs and steeply pitched roofs are not safe to walk on and access is limited on them. Conclusions made by the inspector do not constitute a warranty, guaranty, or policy of insurance. All roofs require periodic maintenance to achieve typical life spans and should be inspected annually. Expect to make minor repairs to any roof.

While it is possible some prior repairs and leaks may be reported, it is not the intention of the inspection to identify and report all prior repairs and conditions. It is recommended to refer to the seller and sellers disclosure about the presence of any roof leaks or prior repairs. Also it should be noted that all gutters deteriorate and have a limited life span before they need to be replaced.



### ATTIC:

<i>ACCESS TO ATTIC:</i>	There is a limited covered ceiling and attic over the hallways, the attic access is located in the hallways.
<i>ACCESS CONDITION:</i>	Due to the size of the attic space it was observed from the access openings only.
<i>AREA OF ATTIC:</i>	There is an attic space over part of the floor plan of the building.
<i>TYPE OF ATTIC FRAMING:</i>	Most of the building has exposed beams without a ceiling or attic space.
<i>ATTIC FRAMING CONDITION:</i>	The attic has conventional framing which has been seismically braced to the exterior walls with steel rods and bolts.
<i>ATTIC CONDITION:</i>	<b>Needs Attention: There are areas of stains on the framing lumber which indicate former roof leaks.</b>
<i>ATTIC VENTILATION:</i>	As the attic was not easily entered, it was viewed from the access opening only. Portions of the attic were not seen.
<i>ATTIC VENTILATION:</i>	There are what had been vents through the brick to what may have been the attic space before the building was remodeled. At present these all appear to be sealed or blocked off as they would no longer have a function without an attic.

**ATTIC INSULATION:**

*INSULATION CONDITION:*

**Needs Attention:** No insulation is provided in the attic. Insulation was not commonly installed at the time when this building was constructed. Currently 8 - 12 inches of insulation is standardly recommended in the attic for energy savings.

**ROOF:**

*ROOF STYLE:*

The roof is a flat roof with a low pitch.



The roofing material on the low sloped roof is rolled sheet composition roofing with a granular surface.

*ROOF ACCESS:*

The roof was walked on to inspect it.

*ROOF COVERING STATUS:*



**Not Acceptable:** The roofing material is worn, deteriorating and losing its granule surface with patching in many areas. There are areas of blistering and lifted roofing. The roof will need significant repair and resurfacing or in the near future it will fail and need the roofing materials removed and replaced..



**Not Acceptable:** There are many areas where the roof is poorly sloped and water collects and ponds and does not fully drain off. This can lead to premature wear and failure. A roofing specialist may be able to remedy this with repairs and modifications.

**EXPOSED FLASHINGS:***CONDITION:*

**Not Acceptable:** The mastic is cracked in areas and is not reliable to ensure a watertight seal around the roof penetrations.

There are gaps around the AC coolant lines for some units that are not sealed and may allow water through and into the building.

There are 'pitch pockets' where the iron wall supports attach to the flat roofing, these are cracking and deteriorated and need repair to remain waterproof.

Some of the parapet walls have metal cap flashings, and for some the metal cap flashing is covered with the sheet rolled roofing lapping up the side walls and over the top. This is a poor and less reliable installation.

**SKYLIGHTS:***CONDITION:*

**Not Acceptable:** The skylight is a home made skylight and does not have a factory sealed frame on it. The mastic is deteriorated and worn on the skylight and needs to be checked out and repaired at this time. Water stains and water damage are noted in the stairwell below.

**GUTTERS, DOWNSPOUTS & ROOF DRAINAGE:**

*GUTTER CONDITION:*

There are 'scupper' drains through the side (parapet) walls of the building to let water off the roof.

It is recommended that an overflow scupper drain be added to prevent ponding and flooding. Consult a roofer.

*DOWNSPOUT CONDITION:*

The downspouts are concealed in the walls and not viewed, their condition is unknown.

**ROOF COMMENTS:***COMMENTS:*

**A licensed roofing contractor should examine the roof and make all needed repairs (or replacements) to ensure a long lasting leak free condition. The roofing contractor may find more problems with the roof and this is why it is being referred to a specialist so they can determine all the problems and give an accurate estimate of the costs involved.**

The roof has been inspected at a time when it was not raining. Since one of the purposes of the roof is to repel water this could not be observed and verified as occurring in all cases. Therefore the roof has not been tested under wet conditions and how it performs in these condition is unknown. No warranty is made that it will not leak when it is under a wet condition.

It is important for all roofs to have regular maintenance, including cleaning out the gutters and drainlines and ensuring all the penetrations are properly sealed.

## FOUNDATION SYSTEM

Structural comments are of the conditions observed at the time of the inspection and are the opinion of the inspector and not fact. If further information or facts are needed, they can be obtained through a structural engineer or foundation expert. The inspection does not determine the potential of the structure to experience future problems, geological conditions or the potential of the underlying soils to experience movement or water flow or whether the soil is stable. If any form of prior structural movement is reported you should expect future movements and possible repairs.

The inspection does not calculate crawl space ventilation capacities, deck and balcony capacity, retaining wall conditions, construction material type, quality or capacity. It does not address the existence of prior repairs, the potential of future repairs, failure analysis, documentation of all possible movement or cracks in floor slabs covered by floor furnishings. It is typical for concrete floor slabs to have some cracks as a result of the normal drying process of the concrete plus the stress occurring by settlement and seismic activity. Crawl spaces are observed in a cursory fashion and wood probing is not done and wood damage, dryrot and termites are not part of this inspection but part of the structural pest control operators report.

### **FOUNDATION:**

#### *SLAB ON GRADE:*

This building is on a concrete slab over earth, with no crawl space underneath. There were no observable signs of significant settlement or deflection in the slab from observing the finish flooring. It appears to be performing its function of supporting the structure however parts of the actual slab itself was not seen and it may appear different once the finish flooring is removed. Some of the ground floor units have exposed concrete flooring, and in some units it is covered. Note, Concrete typically develops cracks, so it is expected some cracking would be found if the concrete were exposed to view. By the nature of slab construction the structure would be bolted to this concrete slab per the standards at the time of construction.

#### *FOUNDATION BOLTING:*

**This is a brick or masonry building on a concrete slab foundation. It was common at this time for there to be no bolting or seismic reinforcing between the brick and concrete. This would be concealed inside the brick and cannot be viewed and its presence or absence is unknown. A structural specialist may be able to determine the condition of any reinforcing. It is recommended this be fully evaluated due to the current standards to reduce earthquake damage.**

**BASEMENT:***BASEMENT ACCESS:*

**Needs Attention:** there is wall damage with missing plaster and exposed brick on the side wall, that may be from water. The wall over the stairwell has a large hole, unusual strapping or repairs. There are dark mold-like stains on the ceiling of the stairwell.

*BASEMENT CONDITION:*

**Needs Attention:** There is some deterioration and water staining to the basement walls and floor, this is one medium size room with a caged or fenced area in the corner that houses the elevator equipment.

There is what appears to be a self closing metal fire door, this has a rope tied to it so it stays open. The door has rust damage to the bottom several inches of the door.

## EXTERIOR

The exterior is viewed in a cursory fashion. Areas of the exterior that are hidden from view by vegetation or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many exterior wall coverings and most do not represent a structural problem. Peeling and cracking exterior paint on windows, doors and trim allow water to enter and cause damage and deterioration. It is important to keep these exterior surfaces properly painted and/or sealed.

All exterior grades should allow for surface and roof water to flow away from the foundation and exterior walls.

Chimney Inspection: This inspection is limited to those areas visible and readily accessible to the general inspector. Due for the potential for hidden damage within a chimney, it is advised to have any fireplace and chimney system fully examined by a qualified chimney specialist using a video camera to determine and report on the structural integrity and fire safety aspects of these systems.



### EXTERIOR COVERING OF THE BUILDING:

*MATERIAL:*

The exterior surface of the building is brick covered with stucco in most areas. There is some wood framing covered with stucco as at the parapet walls.

*CONDITION:*



**Needs Attention:** There are areas of weather beaten stucco and peeling paint on the exterior of the building.

**EXTERIOR WINDOW SURFACES:**

*MATERIAL:*

The exterior window surfaces are metal.

*CONDITION:*

Serviceable.

**EXTERIOR DOOR SURFACES:**

*MATERIAL:*

The exterior door surfaces are metal.

*CONDITION:*

Serviceable with typical wear.

**Not Acceptable**

**CONDITION:**

**Needs Attention:** The exterior door thresholds are not sufficiently raised above the exterior walking surface to prevent moisture intrusion in all circumstances as at the rear of the 652 furniture store. They appear to have allowed moisture to enter at times which can damage the structure.

**EXTERIOR COMMENTS:****COMMENTS:**

It has been reported to us that the building has been upgraded and braced to resist earthquake damage and has a Certificate of Compliance from Division 88. Consult with the owner and/or the city to verify this information and obtain the appropriate documentation.

This inspection is not a structural pest control inspection, otherwise known as a termite inspection. The "termite" inspection also covers such things as dryrot and wood damage and deterioration as well as wood destroying organisms. Any and all of these items need to be examined and any repairs completed before the close of escrow by the "termite" company and they usually have a guarantee on their work. Please refer to the structural pest control report for any information concerning them.

## GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geo-technical engineer should be consulted. Proper grading is important to keep water away from the foundation. If it is not raining during the inspection the course of water flowing toward the structure or off the site cannot be observed. The soil should slope away from the structure to prevent problems caused by excess water not flowing away properly. Gutter discharge should be directed away from the foundation for the same reason. Out buildings, such as storage sheds, on the property are excluded from the inspection. Fire pits, a B.B.Q. and other similar items are not inspected nor is the gas to them tested or lit.

This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Landscape lighting, sprinklers and their timers are not part of a general property inspection. The inspection report does not include the identification of the property boundaries.

There is no covered parking for the building. There are parking lots at the left and rear of the building with spaces for several dozen vehicles.

### PARKING AREAS

*CONDITION:*



**Needs Attention:** There are raised and shifted areas of the parking areas that may to be a trip hazard. There is a considerable amount of deterioration to the entire surface of the parking areas.

### WALKWAYS:

*CONDITION:*

Serviceable, though it is noted that There are cracked areas of the walkways that are typical for the age and style of construction.

### DRAINAGE:

*SITE:*

Flat site.

*DRAINAGE CONDITION:*

**Needs Attention:** There are areas where the parking and walkways slope toward the building within six feet of the structure.

*COMMENTS:*

Determining the adequacy of the grounds to shed water and prevent moisture intrusion into the structure is beyond the scope of the inspection. It is advised to obtain the history of any drainage problems and monitor the site regarding water run-off and drainage in general.

This inspection does not address drainage issues further than 6 feet from the building. Additionally drainage systems that are not visible such as underground systems are not evaluated or inspected. If more information is required it is advised to consult with a drainage specialist.

### PROPERTY WALLS, FENCES & GATES:

*CONDITION:*

**Needs Attention:** metal fencing is bent and damaged at the parking areas.

**GROUNDS COMMENTS:**

The manual or automatic sprinkler systems of the property are not tested or examined. These are not part of any property inspection.

Area drains are not tested as part of this inspection and their condition is unknown. It is recommended that these be tested and cleaned as necessary to ensure they function properly.

## INTERIOR

Cosmetic deficiencies are not reported. The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Minor cracks are found on interior surfaces in all buildings and are typically cosmetic in nature. The condition of floors underneath carpet, furniture and other coverings cannot be determined and is specifically excluded from the inspection and report. Determining the condition of insulated glass is not always possible due to weather, temperature and lighting conditions.

### GENERAL COMMENTS:

*COMMERCIAL BUILDING:* This is a two story building with retail spaces on the bottom and office spaces on the second floor.

### MAIN BUILDING INTERIORS:

*FIRST FLOOR:* This floor has a Comic Book store, an art gallery, a nail salon and a furniture store. The lobby/entry for the second floor is on this level.

**INTERIORS:** the interior spaces are generally serviceable however there are areas where the ceiling and walls are stained due to former roof leaks.

**Needs Attention:** some of the office spaces upstairs were locked and could not be inspected. This was unit 500, 501, and the Poker Dealer' s unit (not numbered on the door).

The glass in the window of the second floor downstairs lobby is cracked.

A storage area has been added as a sort of loft, in unit 7022. The stairway to this is non-standard and a possible safety hazard.

There appears to be moisture staining that has been painted over, in unit 7020.

*SECOND FLOOR:* **Needs Attention:** The brick of the building structure is visible in several of the units, particularly upstairs. See exterior and foundation notes for more information about the brick structure.

It is noted there are some moisture stains on the underside of the roof in places (this forms the ceiling for most of the upstairs of the building). See roof notes in this report for more information.

*RESTROOM:* There are bathrooms in each downstairs unit, and four bathrooms in the hallway upstairs. Two of these upstairs restrooms appear to be more accessible for handicapped. (ADA compliance is not part of this inspection)

**Needs Attention:** The bathroom in 7018, Golden Apple, is worn generally. There is carpet on the floor, this is not recommended as this is an absorbent material, this can trap moisture and lead to mold/mildew etc. There is a small water heater inside the cabinet that is unplugged.

In 7020, the art gallery, the sink is worn. There is no hot water. The fan is not working.

In 7022, Moon Nails, the bathroom appears generally serviceable and has been upgraded.

In 625, Haus Furniture, there are two bathrooms. The public bathroom is generally serviceable. The warehouse bathroom is worn and the fan is not working. No hot water for the bathrooms.

In the Men's bathroom, there are missing wall tiles and cracked tiles. The water flow at the main sink's faucet is very weak. There is a janitor's sink, this functions but drains slowly.

The women's bathroom appears generally serviceable, though worn.

The newer handicapped type bathrooms appear generally serviceable.



Comic Store.



Art Gallery.



Nail Salon.



Upstairs West.



Upstairs 'handicapped'



Furniture store front.



Furniture store back.

**STAIRS & HANDRAILS:**  
*RAILING CONDITION:*  
*STAIR CONDITION:*

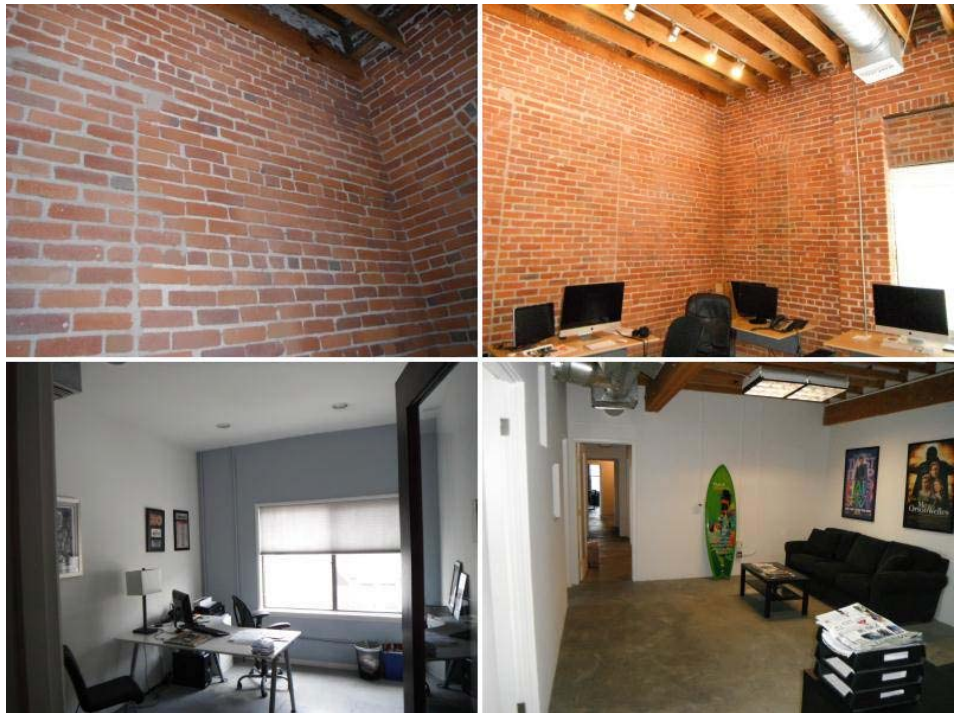
Serviceable.  
Serviceable.

**INTERIOR COMMENTS:**  
COMMENTS:



SAMPLE PHOTOS

This is a general visual inspection, there was no destructive or intrusion testing performed. The intention of this report is to inform the client of post earthquake seismic safety not to itemize or list all the individual flaws, cosmetic items or other deficiencies.



*GENERAL NOTES:*

The interior of the building has personal items and furniture blocking the view and therefore no access to parts of the property.

*ADDITIONAL NOTES:*

It is typical when a building is remodeled or repairs are undertaken that additional problems surface that were not noted on the inspection report. This is to be expected as walls, floors and ceilings are opened up during the work to reveal areas that were not accessible during the inspection. Any remodeling work undertaken on a property should be expected to reveal some of these problems and it is recommended that additional sums be set aside for this purpose.

## INSPECTION LIMITATIONS

### SPECIFIC EXCLUSIONS AND LIMITATIONS:

- OUR GOAL:** Our Goal is to enlighten you as to the condition of the property by identifying material defects that would significantly affect the property and therefore your decisions concerning it. We strive to add significantly to your knowledge of the building. **Thus the goal is not to identify every defect concerning the property but focus upon the material defects and thereby put you in a much better position to make an informed decision.**
- GENERALIST VS. SPECIALIST** A property inspector is a generalist and the inspection is conducted along generalist guidelines as listed above. The generalist job is to note material defects in the property he is inspecting. When he observes and finds one or more problems in a system of the property that affects its performance he may then refer the entire system over to a specialist in that field for a further detailed investigation. The specialist is expected to conduct a more detailed examination on that system from his specialist sphere of knowledge and training to determine all the problems with the system and the related costs of repairs. The specialist is inspecting from a depth of knowledge and experience that the generalist does not have.
- REPRESENTATIVE SAMPLING:** The building has many identical components such as windows, electrical outlets, etc. We inspect a representative sampling of these only. We do not move any furniture or personal belongings. This means that some deficiencies which were there may go unnoted or there may be items which are impossible to anticipate. We suggest that you plan for unforeseen repairs. This is part of property ownership as all buildings will have some of these repairs as well as normally occurring maintenance.
- USE OF THE REPORT:** The inspection report does not constitute a warranty, insurance policy or guarantee of any kind. It is confidential and is given solely for the use and benefit of the client and is not intended to be used for the benefit of or be relied upon by any other buyer or other third party.
- PRE-INSPECTION AGREEMENT:** Terms and conditions crucial to interpretation of the report are contained in a separate pre-inspection agreement. Do not use this report without consulting the pre-inspection agreement as use of this report constitutes the acceptance of all the terms, conditions and limitations in that agreement.
- MOLD, MILDEW AND FUNGI:** Mold, mildew and fungus are specifically excluded from the inspection and the report. The inspector is not qualified to note the presence or absence of mold. In some cases mold has been found to be a serious problem and should not be overlooked. Because we do not inspect for mold, should you have any concerns at all about mold or the future discovery of mold, we always recommend that a buyer has a building inspected for mold during the contingency period and prior to the close of escrow.
- WOOD DESTROYING ORGANISMS:** Termites, dry-rot, wood rot and wood destroying organisms are covered by the structural pest control operator's report. These are not part of the inspection and the inspector will not be inspecting for them. The Business and Professions Code prohibits anyone but licensed structural pest control operators from commenting on this subject.
- BUILDING CODES:** This is not a building code or code compliance inspection. That is a different type of inspection performed by the local municipality, usually during construction. It is advised to obtain all available documentation such as building permits and certificates of occupancy during the inspection contingency period.
- HAZARDOUS SUBSTANCES:** Identifying hazardous substances is not part of this inspection. Items such as formaldehyde, lead based paint, asbestos, toxic or flammable chemicals and environmental hazards are not tested for and not within the scope of the inspection.
- INSPECTION LIMITATIONS:** This is a limited time visual inspection. It excludes any items we cannot directly observe such as chimney interiors, furnace heat exchangers, underground piping, etc. These are specialty inspections and those inspections can be arranged using specialized equipment.
- Additionally we do not inspect to see if components are installed properly. We do not have the specialized training, instruction sheets or manuals to determine if they meet manufacturer or building code requirements for installation, which can be quite varied. This is part of the specialist's inspection and any questions concerning installation would best be answered by the specialist.

# LaRocca Inspection Associates, Inc.

## Inspection Contract

**THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT  
PLEASE READ IT CAREFULLY**

Client: Sample Report Inspection Date: July 2011

Inspection Address: \_\_\_\_\_ Fee: \$ \_\_\_\_\_

**Scope of the Inspection:** The real estate inspection to be performed for the Client is a limited non-invasive physical examination and operation of the systems and components of the building which can be entered or viewed without difficulty, moving obstructions or requiring any action which may result in damage to the property or personal injury to the inspector. The purpose of the inspection is to identify material defects in the systems, structures, and components of the building and its associated primary parking structure as it exists at the time of the inspection. This contract also covers any requested re-inspections of the property for the same client. The written report shall document any material defects in the building's systems or components which, in the opinion of the inspector, are safety hazards, are not functioning properly or appear at the end of their service life. The inspection shall be performed in accordance with the Standards of Practice of the California Real Estate Inspection Association, and incorporated by reference and limited to those items specified herein.

The inspector will do a representative sampling of identical components, such as electrical outlets, etc. Components shall be operated with normal controls only. This is not intended to be technically exhaustive. Testing, measuring, using meters or devices of any kind, dismantling equipment or doing calculations for any system or component to determine adequacy, capacity or compliance with any standard is outside the scope of a standard home inspection. **This is not a wood destroying organism inspection (termite, rodent, dryrot, etc.). This is not a building code, ordinance, energy audit, product recall or permit compliance inspection. It is not an inspection of modifications to the property and will not determine if in fact modifications exist and if they were performed with or without permits.** Client Initials \_\_\_\_\_

**Client's Duty:** The Client agrees to read the entire inspection contract. The signature on the contract is the client's consent to the terms of the contract. Client further agrees to read the entire home inspection report before the close of the conditions period to this sale. If any questions arise during the escrow it is the duty of the client to call the inspector and inquire. Client shall not rely on any oral statements by an inspector. The client is the owner of inspection report which can not be transferred, relied on nor shall constitute any 3rd party beneficiary rights in another person without the written permission of LaRocca Inspection Associates, Inc. (LIA).

The client agrees that any claim for failure to accurately report a material defect in accordance with this contract and report shall be made in writing within 10 days of discovery, by return receipt request. The inspector and/or representative must be allowed to re-inspect/document & photograph the alleged defect in its unchanged condition prior to any repair/alteration or replacement, except in case of water emergency. Failure to comply with this provision is a material breach of this contract and constitutes a full waiver of any claim presented.

**Environmental:** The Client acknowledges that this contract is for a "general property inspection" and is not an environmental property inspection. The inspection is not intended to detect/identify environmental or health concerns regarding this building, including but not limited to asbestos, radon, lead, creosote, urea-formaldehyde, mold, fungus or other toxic substances in the water, air, soil or building materials. **This is not a MOLD or ENVIRONMENTAL Inspection. It is recommended that this property be fully tested and inspected by a mold specialist before the close of the inspection contingency period.** Client Initials \_\_\_\_\_

**General Provisions:** This inspection report & contract are not intended as a warranty, guarantee or insurance policy of any kind. The inspection & report are not a substitute disclosure for this property, disclosure by the seller or the client(s) own independent statutory duty to inspect the property as required by law or contract. A buyer of a property is statutorily required to do his/her own due diligence of the property during the transaction. Further, this contract shall be binding upon the undersigned parties (including their agents, heirs, successors and assigns). No 3rd party beneficiary rights exist in this home inspection contract and/or report and therefore can not be assigned. An agent for the client is deemed to have the authority to sign for the client unless expressly denied in writing and acknowledged by LaRocca Inspection Associates, Inc. In the event that any further re-inspection or appearance in any legal proceeding is necessary this client will pay \$150 per hour portal to portal.

This agreement constitutes the entire agreement between the parties and can only be modified by a written document signed by all the parties to this contract and inspection. **No legal action of any kind shall be commenced against the Inspector/Inspection Company, et al. for any dispute more than one year after the date of the inspection whether in arbitration or Court. A dispute shall be defined as any form of disagreement, mediation, arbitration, or any type of civil lawsuit. THIS TIME IS SHORTER THAN OTHERWISE PROVIDED BY LAW AND CLIENT AGREES AS A MATERIAL TERM AND CONDITION TO THIS AGREEMENT TO BE BOUND BY THAT CONDITION. Client is aware that the price of this home inspection is conditioned on this material provision.**

Client Initials \_\_\_\_\_

**Please choose one of the types of inspections listed below:**

**Generalist Inspection:** The Client requests a general-limited-visual inspection performed in a manner consistent with the Standards of Practice of the California Real Estate Inspection Association. The client acknowledges that the inspector is acting as a generalist and that further investigation by the appropriate specialist of a reported condition may be necessary. Any further investigation by an appropriate profession shall be the duty of the client and not the inspector. The client is advised to consider this issue carefully and obtain further evaluation of reported conditions before removing any inspection contingency.

Client Initials \_\_\_\_\_

--Or--

**Specialist Inspection:** The Client requests a **Specialist Inspection** of the property. A **Specialist Inspection** requires a comprehensive inspection of the building and environmental codes where the building is located performed by a licensed contractor. The **Specialist Inspection** will include a comprehensive report as to all Code compliant issues re: Foundation, Plumbing, Electrical, Heating/Cooling, Roofing, Fireplace, Sewerline, Pool, Geologist, thermography testing, permit review, environmental, product recall, gas detection, review of City records for gas-methane districts, water intrusion, rodent infestation, modifications to the property without permits, energy audits and Engineering issues. The fee for this multiple day(s) inspection is to be determined by the size, age and condition of the property, starts at \$5,000 for the inspection company with additional costs for related experts as an additional fee authorized and approved in writing by the client.

Client Initials \_\_\_\_\_

**Liquidated Damages Clause:** The parties in understanding litigation costs do hereby agree to a liquidated damages clause of two times the cost of the inspection.

Client Initials \_\_\_\_\_

**Mediation Agreement:** The contracting parties agree to mediate all disputes through ADR in Century City, CA. before a law suit is filed. Notice of mediation must be sent return receipt requested with 30 days to respond. If suit is in violation with the above the non-complying party forfeits all rights to prevailing party attorney fees, expert fees and costs. Each side shall share the mediation fees equally but same will be a cost to the prevailing party. The mediator must have experience in mediating property inspection cases and is familiar with the Standards of Practice of the California Real Estate Inspection Association (CREIA).

**Binding Arbitration Agreement:** The contracting parties agree to binding arbitration through ADR in Century City, CA and voluntarily waive any rights to trial by jury and the right to appeal. Punitive damages are expressly waived for both the complaint & cross complaint. All notices of binding arbitration must be served in the same manner as for the mediation as set forth above. Failure to comply with the above terminates all rights of that party to prevailing party legal and expert fees and costs of all types. The arbitrator must have experience in arbitrating home inspection cases and is familiar with the Standards of Practice of the California Real Estate Inspection Association. Each party has the right to the same discovery as if this action were filed in the Superior Court. Neither party has a right to Small Claims unless it is for non-payment of fees.

**Attorney Fee Provision:** In any action in law or equity the prevailing party is entitled to reasonable attorney fees, expert fees and costs of the arbitrator hearing this matter in binding arbitration.

The Client acknowledges that they have read, understood and agreed voluntarily to all the terms, conditions and limitations of this contract and agrees to pay the fee listed above.

Client Signature \_\_\_\_\_ Date \_\_\_\_\_

Client Printed Name \_\_\_\_\_ Inspector \_\_\_\_\_

Sample Report

# LaRocca Inspections Associates, Inc

10623 Sherman Grove Ave.  
Sunland, California 91040  
(818) 951-1795



**Bill To:**

## Invoice

Sample Report

**July 2011**

Inspector:

John LaRocca, Mark Phillips, Dave

Short and David Hamilton

In consideration for professional services rendered consisting of  
(Generalist) **Property Inspection** and delivered report for:

Client Name:

**Sample Report**

At the property address of:

**Payment in full, in the amount of . . . . .**

Payment Info:

Check # \_\_\_\_\_ Cash \_\_\_\_\_

Credit Card: VISA / Master Card / AMEX

Name: \_\_\_\_\_

# \_\_\_\_\_ Code# \_\_\_\_\_

Exp Date \_\_\_\_\_

Signature \_\_\_\_\_

Billing Address street: \_\_\_\_\_ Zip \_\_\_\_\_

Terms: Due at time of inspection.