

Real Estate Inspection Report

September 2009.



Sample Apartment Report

Huntington Park, CA 90255

Inspector - Bud Hayes, Jerry Corum & Bill Morrison
Confidential and Proprietary

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CLIENT INFORMATION



CLIENT NAME: Sample Apartment Report.
CITY: Huntington Park, CA 90255.
INSPECTION DATE: September 2009.
INSPECTION TIME: 12:30 PM.
TOTAL FEE: \$TBA.
INSPECTOR: Bud Hayes, Jerry Corum & Bill Morrison .

INSPECTION CONDITIONS

CLIMATIC CONDITIONS:

WEATHER: Clear.

TEMPERATURE: 90's.

BUILDING CHARACTERISTICS:

BUILDING TYPE: Apartment Building.

STORIES: Two.

UTILITY SERVICES:

UTILITIES STATUS: The utilities were on.

OTHER INFORMATION:

BUILDING OCCUPIED: Yes, the units are occupied, though was reported as vacant.

CLIENT PRESENT: Yes.

DEFINITIONS AND STANDARDS

TERMS OF THE INSPECTION:

- SERVICEABLE:** It is the inspectors opinion that this item is doing the job for which it was intended and exhibits normal wear and tear.
- NEEDS ATTENTION:** It is the inspectors opinion that this item is in need of further investigation and/or repairs or appears to be at the end of its service life. The inspector has made the client aware of this situation by calling it "needs attention" in the report and it is then the clients responsibility to take appropriate action concerning the situation with the appropriate professional during the inspection contingency period and prior to the close of escrow.
- NOT ACCEPTABLE:** It is the inspectors opinion that this item is either a safety hazard or not functioning properly, The inspector has made the client aware of this situation by calling it "not acceptable" and it is then the clients responsibility to take appropriate action concerning the situation with the appropriate professional during the inspection contingency period and prior to the close of escrow.
- STANDARDS:**
- A. The report conforms to the Standards and Practices of the California Real Estate Inspection Association and the Business and Professions Code which defines a real estate inspection as a survey and basic operation of the systems and components of a building which can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the inspector. The purpose of the inspection is to provide the Client with information regarding the general condition of the building(s). Cosmetic and aesthetic conditions shall not be considered.
 - B. A real estate inspection report provides written documentation of material defects discovered in the inspected building's systems and components which, in the opinion of the Inspector, are safety hazards, are not functioning properly, or appear to be at the ends of their service life. The report may include the Inspector's recommendations for correction or further evaluation.
 - C. Inspections performed in accordance with these Standards of Practice are not technically exhaustive and shall apply to the primary building and its associated primary parking structure.

PLUMBING SYSTEM

While some plumbing observation may be code related, this inspection does not determine if the system complies with code. Supply and waste lines are inspected only where they are accessible and while operating accessible fixtures and drains. Performance of the water flow can vary during different times of the day and performance of the drain during actual usage is undetermined. Drain blockage is common in vacant property. It is advised to have any underground drain/sewer lines examined by a specialist with a camera to determine their actual condition. The following are not included; inaccessible supply or waste lines, leaks in inaccessible areas such as walls, underground or the crawl space, the interior of pipes for mineral or corrosive clogging, water hammering, solar equipment or water temperature, and the condition of shower pans or if a shower will leak when used. No water testing of any type is performed. The type of copper, whether it is M, L, or K, is not part of this inspection and will not be determined. The gas system is not tested for leaks and any underground or hidden gas lines are specifically excluded from this report. Determining the operation of sewer ejection systems is excluded from this inspection and it should be examined by a specialist. The angle stops under sinks and other plumbing valves, such as the main shut off valve, are not turned or tested. The finish fixtures as toilets, sinks and faucets etc are covered in the Kitchen and Bathroom section of this report.

MAIN WATER SUPPLY LINE:

MAIN WATER LINE
MATERIAL:

Galvanized steel piping is viewed coming out of the ground by the building and as the main water line runs underground from the street to the building, this appears to be the main water line.

MAIN WATER SHUT
OFF LOCATION:



Crawl space access shut off

On the right side of the building in the back courtyard in the crawl space access opening one was located and another inside of garage #6. There seems to be other shut offs on the property also. Check with the owner for more details.

There are two different water meter covers seen in the back alley.



CONDITION: Needs Attention: The main water line is made of galvanized steel piping. It appears to be the older, original piping and due to the age it is near / at the end of its useful working life and may need to be replaced in the near future.

WATER SUPPLY PRESSURE REGULATOR:

CONDITION: No pressure regulator was observed at the main line where it enters the structure. Sometimes they are installed in other areas and it is advised to check with a professional to determine if there is one on the system or not.

WATER PRESSURE: 50 psi, this is serviceable.

INTERIOR WATER SUPPLY LINES:

WATER SUPPLY PIPING MATERIAL: The interior water piping that supplies the water throughout the building is made of galvanized steel piping with a few pieces of newer copper piping in the system

CONDITION: Needs Attention: The water lines are a combination of copper and galvanized steel piping. The original galvanized steel piping that is left in the system has rust and is showing deterioration. Some of the original pipes have been replaced with copper piping as they wore out, which is why there is copper in the system. The remaining galvanized steel pipes will need to be replaced in the future as they continue to wear out.

Note: there were no active leaks found today, but these are older and nearing the end of their expected useful life. Frequent repairs should be expected until the building is fully upgraded and repiped.



Some copper lines are seen under the front right section and at some water heaters as repairs were done.

**WATER SUPPLY
PIPING COMMENTS:**

The volume of water coming out of the plumbing fixtures drops when multiple fixtures are operated at the same time. This is usually due to having older galvanized piping in the water supply system. Rust builds up inside the pipe to reduce the size and flow. It will not improve unless this piping is replaced.

WASTE LINES:

**WASTE LINE
MATERIAL:**

The piping that takes the waste water out to the sewer system is made mostly of cast iron and galvanized steel where visible.

CONDITION:



Not Acceptable: there are some oddly repaired waste lines using duct tape seen in the front left area. This is non standard and unreliable.



Not Acceptable, under the back building in the middle access area there is a dripping leaking large waste drain line. This appears to be the source of the excessive dampness under this area of the back building.



There are other waste lines in contact with this damp soil showing excessive rust on the exterior (it appears this waste line has been leaking, or some other leak also, for awhile)

It is advised to have a licensed Plumber further examine this and make any needed repairs.



Not Acceptable , what appears to be a vent pipe was partially removed, parts laying in the attic and the vent pipe above the shower in the back upper left unit terminates in the attic instead of through the roof to the exterior. This allows sewer gases into the attic area. It is advised to have a licensed Plumber further examine this and make any needed repairs.



Left front middle area

Needs Attention, There are areas on the waste lines with rust blisters where the material is failing and may seep or leak at any time. These sections of pipe have failed and are ready for replacement at this time. The waste system should be fully evaluated by a plumbing specialist and repaired / replaced as needed.

**WASTE LINE
COMMENTS:**

There was no exterior clean- out located for the waste / drain system.

Needs Attention, these are the older original waste lines to the structure and they appear to be nearing the end of their expected useful design life. (waste lines are the visible drain lines typically seen in the crawl space if applicable under the house and have an average useful design life expectancy of approximately 60 to 80 years). The main building sewer line which goes from the house to the city sewer connection is under ground and can not be seen unless this is inspected by a specialist using a video scope put down through the waste line and inspected from the inside. It is advised to have this specialty inspection performed at this time before the end of the contingency time period.

HOSE FAUCETS:

CONDITION:

Needs Attention:, the one on the left side is corroded at the connection.

GAS SYSTEM:

SEISMIC GAS SHUT
OFF VALVE:

There is no automatic seismic gas shut-off valve on the main gas line. This may not need to be installed in this municipality at the time of sale.

**GAS METER
LOCATION:**

The gas meters are located on the right side of the building, on the left side of the building and in the back walkway areas.

CONDITION:

It is advised to have the gas provider inspect the gas system to determine its condition and check all the gas appliances and fixtures. This is usually a free service.

WATER HEATER:

LOCATION:

Each unit has its own water heater. See the interior section of the report for each unit and more details.

CONDITION:

Needs Attention:, many of these are older and nearing the end of it expected useful life. Some corrections are noted in the interior section. Some repairs and replacements should be expected.

VENTING:

Needs Attention:, the vents on the roof in the back building have missing caps and are very rusty.

Needs Attention, the water heater vent(s) line goes into an older vent system. Most manufacturers require a new metal vent pipe be installed when the new system is installed. The old piping may allow condensation to run back into the water heater causing it to rust prematurely.

These older vents are also known to not draft and vent as well as newer vents.

PLUMBING COMMENTS:

**BATH & KITCHEN
FIXTURES
COMMENTS:**

NOTE: there are additional plumbing comments covering the kitchen and bathroom fixtures. See the kitchen and bathroom pages of the individual units in the interior section of report for additional information.

**WASTE LINE
COMMENTS:**

The sewer lines that go out to the sewer system are installed underground and are not visible. Their condition is unknown. The only way to determine what is going on with them is to have them checked out with a camera by a specialist to determine their true condition and any needed repairs.

NOTE: there is a distinction between 'waste lines' and 'sewer lines' - while both take the drain / waste water away from sinks and toilets and out of the house, the 'waste line' is under the building, sometimes visible and sometimes not, and the 'sewer lines' start 2 feet outside the house and extends to the city sewer.

A typical 'sewer line inspection' is only the portion outside the house to the city sewer, and not under the building. Some sewer line inspection specialists can also inspect the 'waste / drain' lines actually under the house, using a smaller video camera system. This is a separate specialty inspection.

IMPORTANT! a recent change in LA building code requires that any structure built before 1965 that is undergoing plumbing repair or building remodeling with permits is required to have a video inspection of the sewer line between the house and the public sewer main to check for the presence of concrete sewer pipe, and if found, this may need to be repaired or replaced.

GENERAL
COMMENTS:

The majority of the water supply pipes, waste lines and gas lines are underground, in walls or installed in concealed parts of the structure and thus are not visible. Their condition cannot be determined and no representation is made as to their status.

It is advisable to have a licensed plumber examine the system and make all needed repairs to ensure a properly installed and correctly operating plumbing system. This investigation of the system should be done prior to the expiration of the contingency period so the repair or replacement costs are known and unexpected expenses are avoided. It is expected that when the plumbing specialist checks out the system they will find more problems as this is a general inspection and not designed to list every fault but refer it over to them when problems show up in the system.

ELECTRICAL SYSTEM

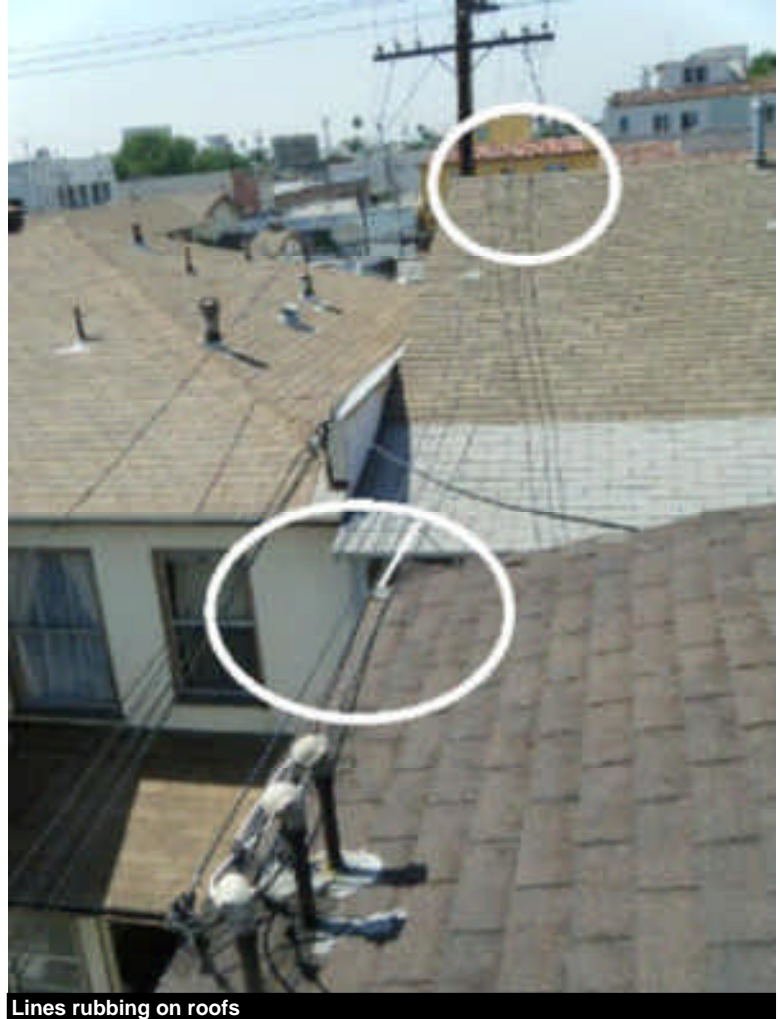
Electrical features are operated with normal controls. The general wiring, switches, outlets and fixtures are randomly checked in accessible areas. Wiring in the main box is inspected by removing the cover if accessible. While some observations may be code related, this inspection does not determine if the system complies with code. The inspection does not determine electrical capacity, determine over current capacity for any item including appliances, compare circuit breaker capacity to installed appliance rating. Also excluded are interior or exterior low voltage wiring or fixtures, telephone, security, intercom, stereo, cable or satellite TV, remote controls or timers. The exterior lighting, landscape lighting or any lighting outside the footprint of the building is not inspected. Light bulbs are not removed or changed during an inspection. This inspection does not certify or warrant the system to be free of risk of fire, electrocution or personal injury or death.

MAIN ELECTRICAL SERVICE:

TYPE OF
ELECTRICAL
SERVICE:

The electricity is supplied by an overhead line from the power pole, 120/
240 Volts.

ELECTRICAL
SERVICE TO THE
BUILDING:



Not Acceptable: , the power lines are rubbing onto the roof areas in two locations and is a safety hazard.

They should be raised up so there is less chance of contacting them. It is advised to check with your local Power Company for the current requirements.

MAIN PANEL
LOCATION:

There are three clusters of meters, one on the left , on the right and in the back walk way.

MAIN PANEL
AMPERAGE:



Service Amperage - 100 Amps cartridge was seen on the left side of the building for these 12 meters and panels.

Each unit typically has 30 amp service.

TYPE OF CIRCUIT
PROTECTION
DEVICE:

The main electrical panel is on circuit breakers.

MAIN PANEL
CONDITION:

Needs Attention: The amount of amperage in the main electrical panel may possibly be insufficient for a building this size. In some cases a property this size needs and has a larger electrical panel. This panel was installed at a time when the amount of power consumed and the number of electrical appliances a building used were a lot less. Please consult with an electrician for more information concerning this and have him determine if upgrade is necessary.

These panels have been upgraded.



The distribution of power supplying power to the various meters is not fully understood. There is only a main disconnect on the left cluster of meters but not for the right side and not for the back middle cluster. This needs to be further examined and repaired as needed by an licensed electrician.

**GROUNDING
SYSTEM:**

A ground was seen connected to one water line on the left.

GROUNDING SYSTEM COMMENTS:

COMMENTS: There was no driven ground rod observable at the main electrical panel. While not required in the past this is an important safety feature. It advised to have a secondary grounding system installed as a back up to the primary ground connection to the cold water pipe. This is a recommended upgrade but it is not a mandatory requirement unless alterations or modifications are made to the system.

The connection of the grounding wires to the grounding system is not visible. It should be connected to a grounding rod and/or the cold water piping system but in many cases these connections are not observable and are covered over within the building.

ELECTRICAL SUBPANELS:

SUBPANEL LOCATION: There is an electrical subpanel, on the exterior of the building, next to the main panel on the left for the house meter and Each apartment has its own subpanel, most or all of the covers were not removed due to potential damage to the plaster or paint.

SUBPANEL CONDITION: Needs Attention, the individual panels are typically a "Federal Pacific " brand of electrical panel and circuit breakers. This is an older system and they are known for not safely tripping off when they are suppose to and get even less reliable as they get older. Some electricians may recommend to replace the panel if any repairs are needed. It is advised to have an electrician examine the system and verify that it will operate safely.

The electrical subpanel for unit #H in the back building is on glass fuses. This is an older, outdated system by today's standards. Upgrade should be considered for safety reasons by a licensed electrician to put the system on circuit breakers.

SUBPANEL COMMENTS: The circuit breakers in the panel(s) do not have a complete directory so it is not known what each breaker controls (or protects) in the building.

INTERIOR ELECTRICAL WIRING:

TYPE OF WIRING: The wiring was observed to be the plastic insulated type in the sampling of outlets opened for inspection. There may be other types of wiring in the system that were not visible.

This appears to have been upgraded in the past. Check with the owner for more details and any documentation and permits.

TYPE OF WIRING

CONDUIT:

The conduit that carries the wiring is a combination of different types.

WIRING CONDITION:

Serviceable, overall where visible.

OUTLETS:

CONDITION:

Needs Attention: there are many outlets found to be improperly operating. See the individual units in the back interior section of the report for more details.

OUTLET COMMENTS:

It is recommended that Ground Fault Circuit Interrupter (GFCI)(safety) outlets be installed in various places such as bathrooms, laundry & kitchen outlets. There are areas that do not appear to have this safety feature. It is an upgrade to have this done and is not a requirement at the time of sale, There are areas that do not appear to have the required GFCI safety devices (Ground Fault Circuit Interrupter).These are required in specific areas near water. These should be verified as protecting all bathrooms. These should be installed in the kitchen outlets.

SWITCHES:

CONDITION:

A representative sampling of switches were checked and those that were tested were found to be in working order.

FIXTURES:

CONDITION:

Needs Attention: There are light fixtures that did not work. This can be a burnt out bulb but it is not known exactly why they are not working. See the individual units in the back interior section of the report for more details.

EXTERIOR ELECTRICAL:

CONDITION:

The exterior lighting outside the building such as in the yard, planters and on the grounds is not part of the inspection.

SMOKE ALARMS:

CONDITION:

Needs Attention: There are missing smoke detectors in areas. There is a chirping smoke alarm(s), this indicates that the battery needs to be replaced (this should be done at least once each year) See the individual units in the back interior section of the report for more details.

Smoke alarms are needed to comply with local safety regulations and escrow instructions. Most local cities require alarms in each sleeping

area and the adjoining living area, within twelve feet of the door of the sleeping areas. It is advised to check with the local municipality to determine their requirements

This is typically checked and certified by a retrofitting company or city official and is required to have in place correctly or upgraded before the close of escrow.

ELECTRICAL COMMENTS:

ELECTRICAL WIRING COMMENTS:

Low voltage lighting and wiring is excluded from a standard property inspection including outdoor lights, phone lines, security systems and speaker systems. Regular voltage exterior lighting is also excluded.

ELECTRICAL COMMENTS:

The wiring is enclosed within the walls and ceilings and other parts of the structure. It is not visible and its condition cannot be fully determined. No representation is made as to its status.

It is advisable to have an electrician examine the system and make all needed repairs to ensure a properly installed and correctly operating electrical system. It is expected that when the electrical specialist checks out the system they will find more problems as this is a general inspection and not designed to list every fault but to isolate areas in need of further detailed inspections.

HEATING AND COOLING SYSTEM

While some observations may be code related, this inspection does not determine if the system complies with code. Weather permitting the systems are operated with normal controls. In order not to damage the system, the air conditioners are not activated if the outdoor temperature is below 65 degrees. Gas furnaces are not checked for carbon monoxide leakage or fire risks. There are carbon monoxide and fire detection devices which can be purchased and installed, which we recommend. Air ducts and registers are randomly checked for air flow. Heat exchangers are specifically excluded from the inspection. They are visually obstructed by the design of the system and a complete inspection requires special tools and disassembly, which is beyond the scope of the inspection. The following items are beyond the scope of the inspection; balance of the air flow, capacity or velocity of the air flow, humidifiers, air duct cleanliness, the ability of the system to heat or cool evenly, the presence of toxic or hazardous material or asbestos, system refrigerant levels, cooling or heating capacity to determine if its sufficient for the building, electronic air filters, solar equipment, programmable thermostats and determining the remaining life of the system. Window A/C's are not built in units and therefore not inspected.

Each unit has its own heater. **See the individual units in the back interior section of the report for more details.**

HEATING SYSTEM:

VENTING:



Needs Attention: The furnace vent pipes were found to be too close to combustible materials in the back building. This is a hazard and the vent line needs to be repaired to have the proper clearances. All furnaces should be checked and corrected as needed.

HEATING AND COOLING COMMENTS:

COMMENTS:

Per the California Energy Commission, "Beginning October 1, 2005, Title 24 of the Building Energy Efficiency Standards requires that ducts be tested for leaks when a central air conditioner or furnace is installed or replaced. Ducts that leak 15% or more must be repaired"

A property inspection will not be able to determine if air loss (leaky ducts etc) exceeds the maximum allowed of 15%. This test can only be done by a qualified technician and is beyond the scope of this inspection. It is advised to consult with a qualified specialist on this matter as the examination may determine that repairs or replacement of the ducting system is required.

ROOF SYSTEM

The report is not intended to be conclusive regarding the life span of the roofing system, if it is leak free or how long it will remain leak free in the future. The inspection and report are based on visible and apparent condition at the time of the inspection. The inspection does not address manufacturing defects, fastener appropriateness, if the roof was installed per code, if flashing is present in all locations or the numbers of layers present. Unless a rain has fallen just prior to the inspection, it is not possible to determine if active leakage is occurring. Not all attic areas are readily accessible for inspection. Tile roofs and steeply pitched roofs are not safe to walk on and access is limited on them. Conclusions made by the inspector do not constitute a warranty, guaranty, or policy of insurance. All roofs require periodic maintenance to achieve typical life spans and should be inspected annually. Expect to make minor repairs to any roof.

While it is possible some prior repairs and leaks may be reported, it is not the intention of the inspection to identify and report all prior repairs and conditions. It is recommended to refer to the seller and sellers disclosure about the presence of any roof leaks or prior repairs. Also it should be noted that all gutters deteriorate and have a limited life span before they need to be replaced.

ATTIC:

ACCESS TO ATTIC: The attic access for the back building is located in the back upper left unit.

The attic access for the front unit was found in Unit B (front upper right)

ACCESS CONDITION:



Small access door

Needs Attention: the front building access is smaller than normal and the low clearance in the attic restricts normal access to the entire building. Due to the size of the attic space it was observed from the access opening only

Serviceable for the back building.

AREA OF ATTIC: There is an attic space over the entire floor plan of the building(s).

TYPE OF ATTIC FRAMING: The attic has conventional framing in it.

ATTIC FRAMING CONDITION: Serviceable.

ATTIC CONDITION:



Serviceable for the back building.

Note: There is not a complete firewall separating each unit's attic space in the back building as is recommended to reduce any risk of fire, The association could be contacted about the possibility of installing this.



Front right corner

Needs Attention: the low clearance and only one small access door makes access to the entire building restricted and difficult for the front building

ATTIC VENTILATION: Serviceable.

ATTIC INSULATION:

INSULATION
CONDITION: Serviceable.

ROOF:

ROOF STYLE: The roof is a sloped type with a pitch to it.

TYPE OF ROOFING
MATERIAL: The roofing material on the sloped roof is made of composition shingles.

ROOF ACCESS: The roof was walked on to inspect it.

ROOF COVERING
STATUS:



Front roof

Needs Attention: On the composition roof of the front building, the shingles are older, deteriorating and losing their surface granules. It is nearing the time to replace this roof.

There are many patched areas with mastic (caulking), some missing shingles and areas of replaced shingles.

There are moisture stains seen inside the office on the ceiling and along the walkways and in the manager office. The roof has many patches in this area but these repairs do not appear reliable.



There are damaged areas on the back left area along the edge.



Excess caulking is used in the valleys in the front.



The front courtyard edges of the roof the roof appear to have been repaired recently.



Needs Attention:, the front drip edge metal along the lower edge of the roof at these repaired areas is installed over the felt paper which may trap water and cause moisture damage to the wood supports and fascia trim.



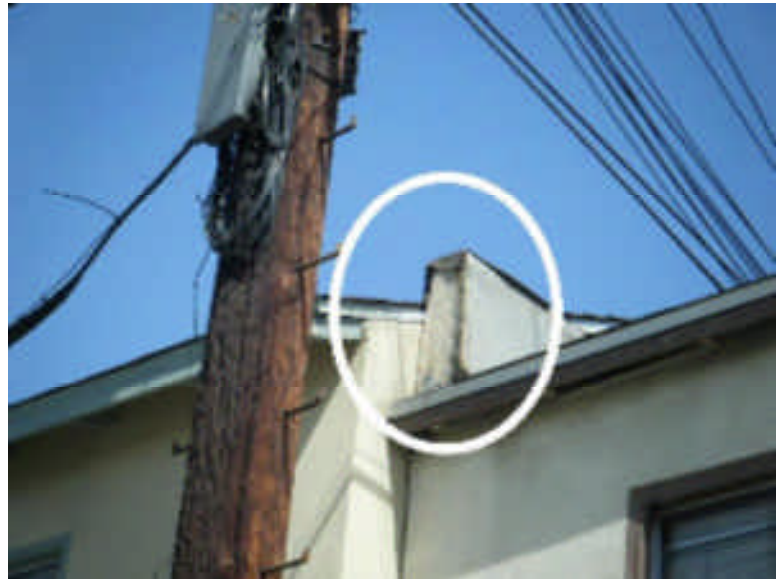
The back left edge along the roof is mid repair and the metal edge flashing is missing and the wood fascia piece.



Note: The back building roof appeared generally serviceable with

some typical maintenance needed

The porch covering has a different color shingle as if recently replaced.



The back roof and structure comes in contact with the neighboring building and some special maintenance is needed at this connection.

EXPOSED FLASHINGS:

CONDITION: Needs Attention: The mastic is cracked in areas and is not reliable to ensure a watertight seal. Many vent pipe caps are missing and the vents are older and rusty.

GUTTERS, DOWNSPOUTS & ROOF DRAINAGE:

GUTTER CONDITION: None.

**DOWNSPOUT
CONDITION:**



Needs Attention: The downspouts do not all route the water away from the building but instead deposit it next to the structure which can cause problems to the foundation over time such as at the back right area (there is evidence of dampness under the building and a green plant is growing under the building)

GUTTER COMMENTS:

It is typically advised to have a complete gutter system with downspouts to help take the water away from the building and improve site drainage.

ROOF COMMENTS:

COMMENTS:

The roof on the front building appears to be at the end of its expected useful life. Roofs have a life span and this one is near or at the end of it. It is ready for replacement.

A licensed roofing contractor should examine the roof and make all needed repairs (or replacements) to ensure a long lasting leak free condition. The roofing contractor may find more problems with the roof and this is why it is being referred to a specialist so they can determine all the problems and give an accurate estimate of the costs involved.

The roof has been inspected at a time when it was not raining. Since one of the purposes of the roof is to repel water this could not be observed and verified as occurring in all cases. Therefore the roof has not been tested under wet conditions and how it performs in these condition is unknown. No warranty is made that it will not leak when it is under a wet condition.

It is important for all roofs to have regular maintenance, including cleaning out the gutters and drainlines and ensuring all the

penetrations are properly sealed.

FOUNDATION SYSTEM

Structural comments are of the conditions observed at the time of the inspection and are the opinion of the inspector and not fact. If further information or facts are needed, they can be obtained through a structural engineer or foundation expert. The inspection does not determine the potential of the structure to experience future problems, geological conditions or the potential of the underlying soils to experience movement or water flow or whether the soil is stable. If any form of prior structural movement is reported you should expect future movements and possible repairs.

The inspection does not calculate crawl space ventilation capacities, deck and balcony capacity, retaining wall conditions, construction material type, quality or capacity. It does not address the existence of prior repairs, the potential of future repairs, failure analysis, documentation of all possible movement or cracks in floor slabs covered by floor furnishings. It is typical for concrete floor slabs to have some cracks as a result of the normal drying process of the concrete plus the stress occurring by settlement and seismic activity. Crawl spaces are observed in a cursory fashion and wood probing is not done and wood damage, dryrot and termites are not part of this inspection but part of the structural pest control operators report.

FOUNDATION:

CRAWL SPACE:



Needs Attention:, There are areas of excessive dampness in the soil under the building in the back middle area (near the leaking waste line). This may cause the building to feel damp and create the growth of mold and/or mildew. It is advised to have this examined by specialists to have the source of the moisture detected and any needed corrections performed plus any growth properly abated.



There is evidence of excess moisture under the back right section. A green plant is growing in the soil, This is near the downspout which has ponding stains on the sidewalk indicating water flows toward the building and can dampen the soil.

Some drainage correction and adjustment to the downspout is needed.

The crawl space has debris in it, it is advisable to have it removed and the area cleaned up such as on the left side near the front. Wood / cellulose especially should be removed to help prevent future infestations

There was a dead animal (cat) found under the structure on the front left area which appears to be a couple of months old.



right side front access door opening

Note: The crawl space was not tall enough to enter in areas, 18 inches of space is required for safe access and it was less than that such as in

the back left area. Some pipes restricted access in the right front area. The entire perimeter of the foundation was not crawled and inspected.

RAISED
FOUNDATION:

Serviceable, with typical wear and tear in areas.

FOUNDATION
BOLTING:



The structure in the front has anchor bolts attaching the framing of the building to the concrete foundation to help prevent movement in case of seismic activity, it is noted that The structure has some original anchor bolts. There are not many of these bolts and it does not meet today's standards that have been established for bolting. This would be evaluated by a foundation expert if additional work was to be undertaken to bring it up to these standards.



It is unknown if the back structure is bolted to the foundation because the bolts are not visible. Due to the type and style of the framing, the areas where the bolts would be located is closed off and not visible. Demolition would have to be undertaken and walls opened up to get to these areas. This is beyond the scope of this general inspection.

**FOUNDATION
CRIPPLE WALLS:**



Front building

Needs Attention: The cripple walls, or portions of it in the front building, have not been strengthened with seismic reinforcement (shear panels etc). 'Cripple walls' are short walls between the foundation and the under side of the building framing. Although this may not be required, seismic reinforcement would help reduce damage to the structure during seismic activity. For detailed information consult with a foundation specialist.

In the back building, there are no perimeter cripple walls in this type of

structure.

FLOOR FRAMING:



Front left area

Not Acceptable: There are damaged and deteriorated areas of floor framing such as under the front left area and on the left middle area - it is advisable to consult the structural pest control operator report for more information on this situation.

POSTS AND PIERS: Serviceable.

FOUNDATION VENTS: Serviceable.

FOUNDATION COMMENTS:

GENERAL
COMMENTS:

There are chalky areas on the concrete. These are an indication that water has entered the concrete and crawl space during wet weather and brought salts out of the concrete when it came to the surface.

EXTERIOR

The exterior is viewed in a cursory fashion. Areas of the exterior that are hidden from view by vegetation or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many exterior wall coverings and most do not represent a structural problem. Peeling and cracking exterior paint on windows, doors and trim allow water to enter and cause damage and deterioration. It is important to keep these exterior surfaces properly painted and/or sealed. All exterior grades should allow for surface and roof water to flow away from the foundation and exterior walls.

Chimney Inspection: This inspection is limited to those areas visible and readily accessible to the general inspector. Due for the potential for hidden damage within a chimney, it is advised to have any fireplace and chimney system fully examined by a qualified chimney specialist using a video camera to determine and report on the structural integrity and fire safety aspects of these systems.



Back building

EXTERIOR COVERING OF THE BUILDING:

- MATERIAL:** The exterior surface of the building is stucco.
- CONDITION:** Serviceable overall.
- ADDITIONAL NOTES:** There is no weep screed installed as part of the stucco system. This is a piece of metal trim installed at the bottom of the stucco. Weep screeds were not required at the time this stucco was installed and so are not part of this system. As a result there may be times where the moisture behind the stucco does not drain properly or moisture wicks up into the stucco from the earth.

EXTERIOR WINDOW SURFACES:

MATERIAL: The exterior window surfaces are various types of materials.
CONDITION: Needs Attention: There are areas of weather beaten wood and peeling paint.
SCREENS: Serviceable, overall.

EXTERIOR DOOR SURFACES:

MATERIAL: The exterior door surfaces are wood.
CONDITION: Serviceable.
SCREENS: Serviceable.

EXTERIOR DOOR THRESHOLDS:

CONDITION: Serviceable.

EXTERIOR TRIM:

MATERIAL: The exterior trim surfaces are wood.
CONDITION: Serviceable.

DECKS AND BALCONIES:

TYPE: The deck and stair in the back building has a waterproof coating on the surface of it.

The deck and balcony and stairs for the front building has tile on the surface of it.

DECK CONDITION:



Serviceable.



Note: the water proof seals inside of the walls can not be seen. There is a small metal piece on the stucco wall at the connection to the tiles indicating some metal flashing trim is present.

RAILINGS:

CONDITION:



Needs Attention:, the railing is rusting and some damage to the walkway at the pool equipment area.

EXTERIOR STAIRS:

CONDITION:



Needs Attention:, the back right stairs have some cracking and need repairs to maintain proper water proofing.

CHIMNEY:

LOCATION:



This chimney is located at the back side of the front building on the left.

MATERIAL:

The chimney is made of brick.



This appears to be an incinerator type unit which is no longer allowed to used for this purpose.

CONDITION:



Not Acceptable: The chimney has vertical cracks especially near the top. This is typically caused by moisture intruding and the metal rebar inside of the bricks rusting and expanding. This been excessively damaged and gaps and large cracks are visible It needs to be evaluated by a chimney expert to determine its true condition.



Looking down the flue

The interior mortar between the flue tiles is deteriorated and some of the flue tiles are seen to be cracked.

This chimney does not appear to be safe to use until repaired.

There is a large tile covering the top preventing this from drafting.

**CHIMNEY
COMMENTS:**

Needs Attention; Major repair work should be expected for repair or removal.

SPARK ARRESTERS:

Needs Attention: The chimney is not equipped with a proper spark arrester. It is advisable to install a spark arrester with a weather cap for safety and to protect the structure of the chimney.

FLASHINGS:



Needs Attention, there is no metal flashing around the chimney where it meets the roof, it is only mastic. This method requires high

maintenance if it is to remain leak free and has gaps around the roof joint and around the flue tile connections to the bricks.

EXTERIOR COMMENTS:

COMMENTS:

This inspection is not a structural pest control inspection, otherwise known as a termite inspection. The "termite" inspection also covers such things as dryrot and wood damage and deterioration as well as wood destroying organisms. Any and all of these items need to be examined and any repairs completed before the close of escrow by the "termite" company and they usually have a guarantee on their work. Please refer to the structural pest control report for any information concerning them

GARAGE - CARPORT

Garage doors, starting in 1992, were required to have an electronic beam installed across the garage door opening to automatically reverse the garage door if there was a blockage of the beam. This prevents the door from closing and damaging people or objects that may be in the garage door opening when the door is operated. Prior to the above date, some garage doors had an automatic reverse feature that operated on pressure. If while descending, the door met resistant, it would automatically reverse and not continue to close. The pressure feature of the garage door will not be checked by the inspector as it may damage the garage door to stop it during its operation. It is advised to have all garage doors upgraded with an electronic beam to ensure the safe operation of the door.



STYLE:

LOCATION: The property has 10 attached garages in the back.

GARAGE FLOOR:

CONDITION: Only two of the garages were opened and inspected.

GARAGE DOORS:

TYPE: The garage doors are made of wood and one at the right end is a sectional.

CONDITION:



Serviceable, with typical wear and tear in areas, though the door by the dumpster is dented.

HARDWARE:

Serviceable, on those tested.

OPENERS:

There is no garage door opener on the garage door.

GARAGE INTERIOR:

CONDITION:



Not Acceptable: The garage interior has areas of moisture stains in #6 & #8. It #6 there is also a black mold like growth and the plumbing access door is missing some the firewall separation to the above unit has been compromised.



GARAGE EXTERIOR:

MATERIAL: The exterior garage covering is, stucco.

CONDITION: Serviceable, with typical wear and tear in areas and some patches.

GARAGE COMMENTS:



IMPORTANT NOTE: The building appears to have a "soft story" condition over the parking structure (Also called "Tuck Under parking"). This is where the weight of living area is supported by a parking structure below and the corners at each side of the car entry opening are not sufficiently braced to support the stress created by the lateral movement during an earthquake. Refer to

the Earthquake Hazards booklet for for more details and a drawing that illustrates this condition and consult a structural engineer for a solution to this condition if it is found to exist.

GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geo-technical engineer should be consulted. Proper grading is important to keep water away from the foundation. If it is not raining during the inspection the course of water flowing toward the structure or off the site cannot be observed. The soil should slope away from the structure to prevent problems caused by excess water not flowing away properly. Gutter discharge should be directed away from the foundation for the same reason. Out buildings, such as storage sheds, on the property are excluded from the inspection. Fire pits, a B.B.Q. and other similar items are not inspected nor is the gas to them tested or lit.

This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Landscape lighting, sprinklers and their timers are not part of a general property inspection. The inspection report does not include the identification of the property boundaries.

DRIVEWAY:

CONDITION: Serviceable, with typical wear and tear in areas.

WALKWAYS:

CONDITION: Serviceable, with typical wear and tear in areas.

LANDSCAPING:

CONDITION: The grounds on the property have generally been maintained.

DRAINAGE:

SITE: Flat site.

DRAINAGE
CONDITION: Needs Attention: There are areas where the water may pond instead of flowing off the site during heavy rains, such as at the left side of the building.

The back right downspout does not extend away properly and the sidewalk appears to be a low spot (a green plant is growing under the structure at this area)



There are some sump pumps seen in the back courtyard which operated when testing

COMMENTS:

Determining the adequacy of the grounds to shed water and prevent moisture intrusion into the structure is beyond the scope of the inspection. It is advised to obtain the history of any drainage problems and monitor the site regarding water run-off and drainage in general.

This inspection does not address drainage issues further than 6 feet from the building. Additionally drainage systems that are not visible such as underground systems are not evaluated or inspected. If more information is required it is advised to consult with a drainage specialist.

PATIO:

CONDITION: Serviceable, with typical wear and tear in areas.

PROPERTY WALLS, FENCES & GATES:

CONDITION: It is beyond the scope of this general inspection to examine these, but as a courtesy it is noted they appear generally serviceable.

GROUNDS COMMENTS:

The manual or automatic sprinkler systems of the property are not tested or examined. These are not part of any property inspection.

Area drains are not tested as part of this inspection and their condition is unknown. It is recommended that these be tested and cleaned as necessary to ensure they function properly.

POOL AND SPA EQUIPMENT

The inspection was limited to those areas which are above ground or water level. The distortion of the water in the pool makes observing the pool surface difficult. The only way to detect an underground leak in a supply line, buried pipe fitting, or pool surface crack is by observation of the persistent and continuous loss of water from the pool over an extended period of time. Pool filtering devices are not disassembled to determine the condition of any installed filter elements. Operation of time clock motors and thermostatic temperature controls cannot be verified during a visual inspection. Pilot lights on gas pool heaters are not lit during the inspection.



POOL/SPA SURFACE:

TYPE OF POOL
SURFACE:

The pool surface is made of plastered concrete.

CONDITION:

Serviceable, with typical wear.

POOL/SPA COVER:

CONDITION:

None.

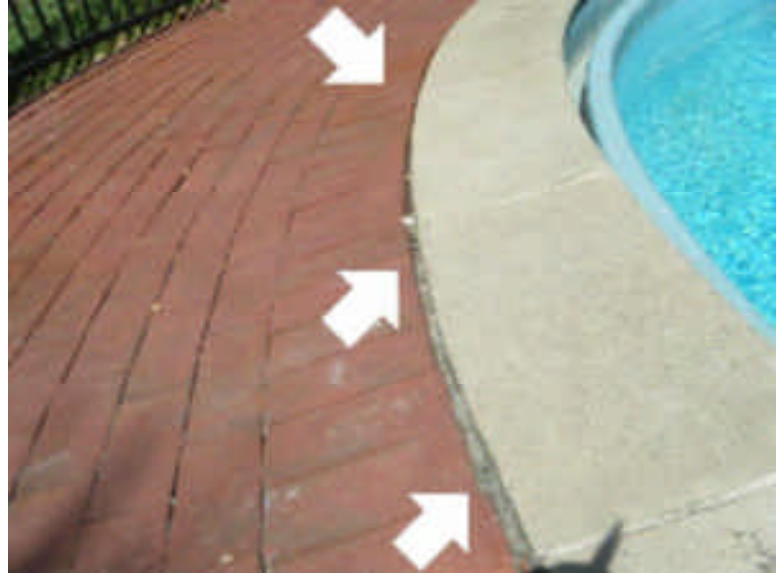
SKIMMER & BASKET:

CONDITION:

Serviceable.

COPING AND DECKING:

CONDITION:



Needs Attention: The caulking between the coping and the decking around the pool/spa is deteriorated in areas. This area should be re-caulked and sealed.

POOL/SPA LIGHT:

CONDITION: None.

PUMPING EQUIPMENT:

PUMP MOTOR
CONDITION: Serviceable.

LEAF BASKET: Serviceable.

PRESSURE IN PSI: About 25 pounds per square inch.

POOL FILTER: Needs Attention: The pressure on the filter is too high and it needs to be serviced and cleaned.

VISIBLE PLUMBING LINES:

CONDITION:



Needs Attention , there is a small leak by the filter.

POOL/SPA HEATERS:

TYPE: None.

POOL AND SPA ELECTRICAL ITEMS:

CONDITION: **Needs Attention, the conduit that carries the electrical wires to the pool equipment is very rusty and it may deteriorate to the point of shorting out the electrical system in this area at any time.**

The equipment is not bonded with a bonding wire between all the pool equipment. This is a heavy copper wire that is a standard safety feature on pool equipment



The timer box has a missing plastic cover guard inside it. The electrical wires are exposed to contact in this condition and it is recommended that this be re-installed.

POOL/SPA ENCLOSURE:

CONDITION: Serviceable.

EQUIPMENT AREA:

CONDITION: Serviceable.

POOL/SPA COMMENTS:

There are some corrections seen to be needed for the electrical and some safety features.

It is advised to have a pool specialist examine the pool and equipment and make any and all repairs to it to ensure that it is operating properly. The specialist may find more problems with the pool and equipment as some problems were noted and it should be fully examined to ensure it is all working properly.

Pool leaks cannot be detected during a general visual inspection. The only way to detect an underground leak in a supply line, buried pipe fitting, or pool surface crack is by observation of the persistent and continuous loss of water from the pool over an extended period of time. There are specialists that may have other methods for locating leaks but all of these are beyond the scope of this inspection.

APARTMENT INTERIORS - 7129

As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Minor cracks are found on interior surfaces in all buildings and are typically cosmetic in nature. The condition of floors underneath carpet, furniture and other coverings cannot be determined and is specifically excluded from the inspection and report. Only the general condition of visible portions of floors is included in this inspection. Window and door security bars are not tested or operated. Determining the condition of insulated glass is not always possible due to weather, temperature and lighting conditions. All fireplaces should be cleaned and inspected on a regular basis to make sure that it is a safe and structurally sound system. It is beyond the scope of this inspection to determine and cracking or damage to the chimney or its flue. This can only be determined by a chimney expert.

Unit A.

TYPE: This is a 1 Bedroom, 1 Bathroom unit.

INTERIORS: **Needs Attention: The carpet has areas of wear.**

KITCHEN: **Needs Attention: The faucet leaks when used. The countertops have cracked / chipped tile and worn and deteriorated grout.**

HALL BATHROOM: **Needs Attention: There are areas of peeling paint on the wall near the shower that will need repair. The shower walls have cracked tiles. The window or its frame is damaged and will need repair. The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time. The electric wall heater did not work.**

HEATING The heating system is, a gas wall furnace
The furnace does not appear to be being used and is blocked by furniture, it is an older system and the pilot is off. This will need cleaning, service and evaluation before it is operated.

ELECTRICAL The sub panel is located in the bedroom.
Needs Attention: There is a breaker shut off - the reason for this is not known. It is advised to inquire with the Seller regarding this. An electrician could check this and provide additional information. The breakers are very old and may no longer be reliable, Further evaluation or replacement is recommended.

WATER HEATER The water heater is located in the kitchen. **Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location.**
FUEL: This is a gas water heater.
SIZE: 30 Gallon,
AGE: 25 years old, Water heaters have an expected life of 8 - 12 years.

CONDITION: Needs Attention: The water heater is very old and past it's expected life span, It may leak or fail in the near future, at which time it will need to be replaced.

STRAPPING AND SUPPORT: Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent movement.

TEMPERATURE / PRESSURE RELIEF VALVE: Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.

Unit B.

TYPE: This is a 1 Bedroom, 1 Bathroom unit.

INTERIORS: Serviceable, There is typical wear to the surfaces.

KITCHEN: **Needs Attention: There is corrosion and patching on the drain piping.
The faucet drips continuously, and needs repair.
The shelf below the sink has moisture deterioration.
The counter tops have areas of wear.**

Not Acceptable: The garbage disposal has exposed wiring and improper connections and needs repair for safety.

HALL BATHROOM: **Needs Attention: The carpets have areas of stains.
The toilet has a broken handle or flush parts and needs repair.
The shower controls are leaking when used and need repair.
The shower walls are worn and deteriorated.
There are areas of damage to the trim that will need repair near the tub.
The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time.
The electric wall heater did not operate.**

HEATING The heating system is, a gas wall furnace
**Needs Attention: The pilot flame was out, so it could not be tested in operation, the Gas Co may be able to light and test this.
There is rust and corrosion in the burner area, this needs to be cleaned and serviced.**

COOLING The window type A/C unit appeared to function properly.

ELECTRICAL The sub panel is located in the bedroom, **The panel cover is painted to the wall so was not removed, and the inside components not evaluated.**

WATER HEATER

The water heater is located in the kitchen. **Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location.**

FUEL: This is a gas water heater.

SIZE: 30 Gallon (estimated),

AGE: The age of the water heater could not be determined - it appears to be an older appliance.

CONDITION: **Needs Attention: There is rust and corrosion on the pipes that enter the top of the water heater and they may need to be replaced soon.**

STRAPPING AND SUPPORT: Not visible.

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention: The water heater safety valve (TPR) has a short drain line installed, but it is not long enough, and should be extended to take the water to a safe location (preferably to the exterior of the building).**

Unit C.

TYPE: This is a Single (Studio)

INTERIORS: Serviceable.

KITCHEN: Serviceable The kitchen surfaces and primary components in this brief test appeared to be in serviceable condition.

HALL BATHROOM: **Needs Attention: The sink stopper is missing or not working. There are areas of peeling paint on the walls and ceilings inside the shower.**

HEATING **Not Acceptable: There is no permanent source of heating installed.**

ELECTRICAL The sub panel is located in the bedroom.
Needs Attention: The panel cover is not properly fitted and there are gaps around the breakers.

There are grounding or 3 prong outlets that did not test as having the the 3rd prong properly connected, in the kitchen.

WATER HEATER

The water heater is located on the exterior of the building in a closet.

FUEL: This is a gas water heater.

SIZE: 30 Gallon,

AGE: **26** years old, Water heaters have an expected life of 8 - 12 years.

CONDITION: **There is non-standard fittings (plastic) in the water supply piping.**

Needs Attention: The water heater is very old and past its expected life span, it may leak or fail in the near future, at which time it will need to be replaced.

STRAPPING AND SUPPORT: **Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state regulations with 2 heavy duty straps securely bolted to the**

building structure, and braced between the wall to prevent movement.

TEMPERATURE / PRESSURE RELIEF VALVE: Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.

Unit D.

TYPE:	This is a 1 Bedroom, 1 Bathroom unit.
INTERIORS:	Needs Attention: There are areas of blistered and peeling paint on the ceiling, as noted in the bedroom. Otherwise, there is typical wear to the surfaces.
KITCHEN:	Needs Attention: The countertops have cracked / chipped tile and worn and deteriorated grout. The garbage disposal has exposed wiring and improper connections and needs repair for safety.
HALL BATHROOM:	Needs Attention: The sink stopper is missing or not working. The seam between the tub and tile wall is deteriorated and worn. The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time. The electric wall heater does not work.
HEATING	The heating system is, a gas wall furnace Needs Attention: The pilot flame was out, so it could not be tested in operation, the Gas Co may be able to light and test this. There is rust and corrosion in the burner area, this needs to be cleaned and serviced.
ELECTRICAL	The sub panel is located in the bedroom. Needs Attention: The breakers are very old and may no longer be reliable, Further evaluation or replacement is recommended.
WATER HEATER	The water heater is located in the kitchen. Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location. FUEL: This is a gas water heater. SIZE: 40 Gallon AGE: 6 years old, Water heaters have an expected life of 8 - 12 years. STRAPPING AND SUPPORT: Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent movement. TEMPERATURE / PRESSURE RELIEF VALVE: Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe

location as the exterior of the building. It is recommended that this be installed to prevent water damage.

VENTING: Needs Attention. The piping connections are poorly fitted and there are open gaps in the pipes at the ceiling.

Unit E.

TYPE:	This is a 1 Bedroom, 1 Bathroom unit.
INTERIORS:	Needs Attention: The carpet has areas of wear.
KITCHEN:	Serviceable The kitchen surfaces and primary components in this brief test appeared to be in serviceable condition with typical wear.
HALL BATHROOM:	Needs Attention: There are areas of moisture damage that will need repair on the wall near the shower. The shower walls have cracked tiles. The seam between the tub and tile wall is deteriorated and worn. The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time. The electric wall heater did not work.
HEATING	The heating system is, a gas wall furnace Needs Attention: The pilot flame was out, so it could not be tested in operation, the Gas Co may be able to light and test this. There is rust and corrosion in the burner area, this needs to be cleaned and serviced.
ELECTRICAL	The sub panel is located in the hall. Needs Attention: The breakers are very old and may no longer be reliable, Further evaluation or replacement is recommended.
WATER HEATER	The water heater is located in the kitchen. Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location. FUEL: This is a gas water heater. SIZE: 30 Gallon, AGE:17 years old, Water heaters have an expected life of 8 - 12 rears. CONDITION: Needs Attention: The water heater is very old and and past it's expected life span, It may leak or fail in the near future, at which time it will need to be replaced. STRAPPING AND SUPPORT: Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent movement. TEMPERATURE / PRESSURE RELIEF VALVE: Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.

Unit F.

TYPE:	This is a Single (Studio)
INTERIORS:	Needs Attention: The window in the bathroom does not close properly and would not latch/lock.
KITCHEN:	Needs Attention: The flexible gas line passes through the wall of the cabinet as it feeds the gas to the cooktop. Flexible gas lines are not supposed to pass through any walls for safety reasons and it should be a rigid metal line so there is no danger of it being damaged.
HALL BATHROOM:	Needs Attention: The sink faucet drips continuously and needs repair. There is advanced rusting or corrosion on the drain piping under the sink and these drain pipes appear ready for replacement. The shower walls have cracked tiles and deteriorated/damaged caulking. There is a black substance on the walls that should be inspected by a specialist to determine its content.
HEATING	Not Acceptable: There is no permanent source of heating.
ELECTRICAL	The sub panel was not located - it appears to be behind stored items in the right rear corner.
WATER HEATER	The water heater is located on the exterior of the building in the laundry room. FUEL: This is a gas water heater. SIZE: 30 Gallon, AGE: 8 years old, Water heaters have an expected life of 8 - 12 years. STRAPPING AND SUPPORT: Needs Attention, the water heater does not have blocking between itself and the wall to prevent rocking and movement, as is required. TEMPERATURE / PRESSURE RELIEF VALVE: Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage. VENTING: Needs Attention, the water heater vent pipe is corroded and rusting out. It is failing and may allow exhaust gas into the building so is a safety concern and should be repaired / replaced.

Unit G.

TYPE: This is a Single (Studio)

INTERIORS:	Needs Attention: There are areas of patching and peeling paint on the ceiling and upper walls (this is under the exterior deck area). The carpet has areas of wear, staining.
KITCHEN:	Needs Attention: There are missing control knobs for the cooktop/ burners. The shelf below the sink has moisture deterioration. The flexible gas line passes through the wall of the cabinet as it feeds the gas to the unit. Flexible gas lines are not supposed to pass through any walls for safety reasons and it should be a rigid metal line so there is no danger of it being damaged.
HALL BATHROOM:	Needs Attention: The sink faucet has very poor water flow. There are areas of damage to the walls near the shower and sink, and areas of peeling paint. The shower walls are worn and deteriorated. There are areas of moisture damage on the ceiling above the shower. The shower neck is rusted. The shower walls (dam) have cracked tiles. The floor has cracked tile and worn grout.
SECOND BEDROOM'S BATHROOM:	
HEATING	Not Acceptable: There is no permanent source of heating installed.
COOLING	The window type A/C unit appeared to function properly, though it has some wear and tear.
ELECTRICAL	No subpanel was found in this unit. Not Acceptable: There are electric outlets that did not work when tested, and will need repair or further evaluation in the kitchen area.
WATER HEATER	The water heater is located on the exterior of the building in the laundry room (shared with Unit F).

Unit H.

TYPE:	This is a 1 Bedroom, 1 Bathroom unit.
INTERIORS:	Needs Attention: There is some wear and tear to the unit. The sash cords do not hold up the windows in the living room and need repair. A door is removed from the frame at the kitchen. The carpet has areas of wear. The flooring has areas of sloping as from building settlement.
	NOTE: The den/dining area is used as a sleeping area.

KITCHEN:	<p>Needs Attention: While generally functioning, there are areas with excessive wear and ready for servicing or repair. The countertops have cracked / chipped tile and worn and deteriorated grout. The faucet leaks at the base of the spout when used. The cabinet surfaces are worn and need adjustment. There is missing handle hardware. The garbage disposal does not work and will need repair or replacement.</p>
HALL BATHROOM:	<p>Needs Attention: The door did not lock. The sink stopper is missing or not working. There are areas of damage that will need repair near the shower and behind the toilet. The shower walls are worn and deteriorated. The electric wall heater did not operate.</p>
HEATING	<p>The heating system is, a gas wall furnace. This is a newer appliance. Needs Attention: The pilot flame was out, so it could not be tested in operation, the Gas Co may be able to light and test this. The furnace is dirty and needs to be serviced for safe operation.</p>
COOLING	<p>The window A/C was disconnected and was not tested.</p>
ELECTRICAL	<p>The sub panel is located in the hall. The panel cover is painted to the wall so was not removed, and the inside components not evaluated.</p> <p>Not Acceptable: The electrical sub-panel has glass fuses in it that are too large for the wiring that it is protecting. These need to be reduced down to the proper size to prevent overloading the wiring. This is a safety hazard and further evaluation by an electrician is recommended.</p> <p>The electrical sub-panel is on glass fuses. This is an older, outdated system by current standards. Upgrade should be considered for safety reasons by a licensed electrician to put the system on circuit breakers.</p> <p>There are outlets with the wiring reversed, in the bathroom.</p>
WATER HEATER	<p>The water heater is located on the exterior of the building in the laundry room.</p> <p>FUEL: This is a gas water heater. SIZE: 30 Gallon, AGE: 26 years old, Water heaters have an expected life of 8 - 12 years. CONDITION: Needs Attention: The water heater is very old and and past it's expected life span, It may leak or fail in the near future, at which time it will need to be replaced. STRAPPING AND SUPPORT: Needs Attention, the water heater does not have blocking between itself and the wall to prevent</p>

rocking and movement, as is required.

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention.**

The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.

VENTING: **Needs Attention, the water heater vent pipe is corroded and rusting out. It is failing and may allow exhaust gas into the building so is a safety concern and should be repaired / replaced.**

Unit J.

TYPE:	This is a 1 Bedroom, 1 Bathroom unit.
INTERIORS:	Needs Attention: There are areas of moisture stains on the ceiling and peeling paint in the bedroom.
KITCHEN:	Needs Attention: The counter tops have areas of wear. While generally functional there are areas of wear and deterioration.
HALL BATHROOM:	Needs Attention: The sink faucet leaks in the handle area onto the counters when used. There are areas of damage that will need repair near the tub and the toilet. The floor has cracked tile and worn grout. The seal is deteriorated near the tub. The shower walls are worn and deteriorated. There is a black substance on the walls that should be inspected by a specialist to determine its content.
HEATING	The heating system is, a gas wall furnace. This is a newer appliance. Needs Attention: The pilot flame was out, so it could not be tested in operation, the Gas Co may be able to light and test this.
COOLING	The window type A/C unit appeared to function properly, though it is a much older appliance.
ELECTRICAL	The sub panel is located in the hall. Serviceable. Not Acceptable: There are switches found that did not work the fixture in the hall (would not shut off).
WATER HEATER	The water heater is located on the exterior of the building in the laundry room. FUEL: This is a gas water heater. SIZE: 30 Gallon, AGE: 17 years old, Water heaters have an expected life of 8 - 12 years. CONDITION: Needs Attention: The water heater is very old and and past it's expected life span, It may leak or fail in the near

future, at which time it will need to be replaced.

STRAPPING AND SUPPORT: **Needs Attention, the water heater does not have blocking between itself and the wall to prevent rocking and movement, as is required.**

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.**

VENTING: **Needs Attention, the water heater vent pipe is corroded and rusting out. It is failing and may allow exhaust gas into the building so is a safety concern and should be repaired / replaced.**

7129.

TYPE:	This is a Single (Studio)
INTERIORS:	Serviceable.
KITCHEN:	Serviceable The kitchen surfaces and primary components in this brief test appeared to be in serviceable condition with some wear and tear.
HALL BATHROOM:	Needs Attention: The window or its frame is damaged and will need repair. There is a black substance on the walls that should be inspected by a specialist to determine its content. The seals in the shower floor are deteriorated. There are cracked areas in the walls near the shower.
HEATING	Not Acceptable: There is no permanent source of heating installed.
ELECTRICAL	The sub panel is located in the bedroom. Needs Attention: The breakers are very old and may no longer be reliable, Further evaluation or replacement is recommended.
WATER HEATER	The water heater is located on the exterior of the building in a closet (see 7129 C for details).

Office.

TYPE:	This is a Single room.
INTERIORS:	Needs Attention: There are areas of moisture stains on the ceiling.
HEATING	Not Acceptable: There is no permanent source of heating installed.

APARTMENT INTERIORS - 7135

Unit A*.

TYPE: There was no access to this unit and it was not inspected.

Unit B.

TYPE: This is a 1 Bedroom, 1 Bathroom unit.

INTERIORS: Serviceable, There is typical wear to the surfaces.

KITCHEN: **Needs Attention: There are cracked / chipped floor tile and wear to the grout.**
The countertops have cracked / chipped tile and worn and deteriorated grout.
The garbage disposal has exposed wiring and improper connections and needs repair for safety.
The fan in the ceiling did not work and is worn- it will need repair or replacement.

HALL BATHROOM: **Needs Attention: There are areas of peeling paint to the walls / ceiling.**
There are areas of damage that will need repair near the tub.
The sink stopper is missing or not working.
The sink drains slowly.
The shower walls are worn and deteriorated.
The shower door is wire glass which is no longer considered safe as it can break into sharp shards. It should be replaced with tempered or approved materials.
The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time.

HEATING The heating system is, a gas wall furnace
The furnace does not appear to be being used and is blocked by furniture. It appear to be dirty and the pilot is off. This will need cleaning, service and evaluation before it is operated.

COOLING The window A/C was not connected and was not tested as part of this inspection.

ELECTRICAL **Needs Attention: There are outlets with the wiring reversed (reversed polarity), as found in the dining area.**

WATER HEATER The water heater is located in the kitchen.
FUEL: This is a gas water heater.
SIZE: 40 Gallon
AGE: The age of the water heater could not be determined but it appears to be older.
Needs Attention: There is no catch pan under the water heater to

prevent leaks from damaging the floor or structure, this is recommended in this location.

The water heater bubbles or rattles inside as it heats up, this may indicate sediment buildup in the bottom of the tank. This can reduce the effectiveness and life of the water heater and may indicate that it is at the end of its useful life.

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention:** The water heater safety valve(TPR) has a short drain line installed, but it is not long enough, and should be extended to take the water to a safe location (preferably to the exterior of the building).

Unit C.

TYPE:	This is a 1 Bedroom, 1 Bathroom unit.
INTERIORS:	Needs Attention: The carpet has areas of staining in the bedroom.
KITCHEN:	Needs Attention: The countertops have cracked / chipped tile and worn and deteriorated grout.
HALL BATHROOM:	Needs Attention: The sink stopper is missing or not working. The sink drains slowly. There are areas of peeling paint that will need repair at the shower area. The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time. The seam between the tub and tile wall is deteriorated and worn. The shower walls have cracked tiles. The stopper is missing or does not work correctly. The electric wall heater did not operate. Not Acceptable: There is water on the floor near the base of the toilet.
HEATING	The heating system is, a gas wall furnace. The furnace does not appear to be being used and is blocked by furniture, it is dirty and the pilot is off. This will need cleaning, service and evaluation before it is operated.
ELECTRICAL	The sub panel is located in the bedroom, The panel cover is painted to the wall so was not removed, and the inside components not evaluated. Needs Attention: There are areas that are not protected with smoke detectors where it is recommended they be installed, as in the bedroom. The GFCI safety outlet did not operate correctly when tested, and will need replacement in the bathroom.

WATER HEATER

The water heater is located in the kitchen.

Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location.

FUEL: This is a gas water heater.

The appliance is covered with a blanket which was obscuring the view.

SIZE: 30 Gallon (estimated).

AGE: The age of the water heater could not be determined but it appears older.

STRAPPING AND SUPPORT: **Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent movement.**

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.**

Unit D.

TYPE:

This is a 1 Bedroom, 1 Bathroom unit.

INTERIORS:

Serviceable, There is typical wear and tear to the surfaces.

KITCHEN:

Needs Attention: The countertops have cracked / chipped tile and worn and deteriorated grout.

HALL BATHROOM:

Needs Attention: There are areas of moisture stains on the ceiling. The seal between the tub and tile wall is deteriorated. The tub fixtures are corroded and are leaking when used. The shower diverter did not work. The electric wall heater did not operate.

HEATING

The heating system is, a gas wall furnace

The furnace does not appear to be being used and is blocked by furniture, it is dirty and the pilot is off. This will need cleaning, service and evaluation before it is operated.

COOLING

The window A/C was blocked by furniture and was not tested. It does not appear to be in use.

ELECTRICAL

The sub panel is located in the, bedroom. **The panel cover is painted to the wall so was not removed, and the inside components not evaluated.**

Needs Attention: There are knockouts missing in the panel cover.

WATER HEATER

The water heater is located in the kitchen.

Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location. There is moisture staining in the base of the closet.

FUEL: This is a gas water heater.

SIZE: 40 Gallon

AGE: 8 years old, Water heaters have an expected life of 8 - 12 years.

CONDITION: **Needs Attention: There is rust and corrosion on the pipes that enter the top of the water heater and they may need to be replaced soon.**

Needs Attention: The water heater bubbles or rattles inside as it heats up, this may indicate sediment buildup in the bottom of the tank. This can reduce the effectiveness and life of the water heater and may indicate that it is at the end of its useful life.

STRAPPING AND SUPPORT: **Needs Attention, the water heater does not have blocking between itself and the wall to prevent rocking and movement, as is required.**

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention: The water heater safety valve (TPR) has a short drain line installed, but it is not long enough, and should be extended to take the water to a safe location (preferably to the exterior of the building).**

VENTING: **Not Acceptable: The flue pipe is disconnected at the top of the water heater and exhaust gas from the water heater are escaping. This is a safety hazard and needs to be repaired.**

Unit E.

TYPE:

This is a 1 Bedroom, 1 Bathroom unit.

INTERIORS:

Serviceable.

KITCHEN:

Needs Attention: The counter tops have areas of wear. While generally functional there are areas of wear and deterioration.

HALL BATHROOM:

Needs Attention: There is a black substance on the walls that should be inspected by a specialist to determine its content. The shower walls are worn and deteriorated.

The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time.

The electric heater did not work.

The sink stopper is missing or not working.

HEATING

The heating system is, a gas wall furnace

The furnace does not appear to be being used, it is dirty and the pilot is off. This will need cleaning, service and evaluation before it is operated.

There is rust and corrosion in the burner area, this needs to be

cleaned and serviced.

ELECTRICAL

The sub panel is located in the bedroom.

Needs Attention: The breakers are very old and may no longer be reliable, Further evaluation or replacement is recommended.

WATER HEATER

The water heater is located in the kitchen. **Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location.**

FUEL: This is a gas water heater.

SIZE: 30 Gallon,

AGE: 4 years old, Water heaters have an expected life of 8 - 12 years.

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.**

Unit F.

TYPE:

This is a Single (Studio)

INTERIORS:

Serviceable.

KITCHEN:

Serviceable The kitchen surfaces and primary components in this brief test appeared to be in serviceable condition with some typical wear.

HALL BATHROOM:

Needs Attention: The shower walls are worn and deteriorated. There are cracked tiles.

The sink stopper is missing or not working.

The floor has cracked tile and worn grout.

HEATING

Not Acceptable: There is no permanent source of heating.

COOLING

The window type A/C unit appeared to function properly.

WATER HEATER

The water heater is located on the exterior of the building in the laundry room.

FUEL: This is a gas water heater.

SIZE: 30 Gallon,

AGE: Within the last year.

STRAPPING AND SUPPORT: **Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent movement.**

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention.**

The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.

Unit G*.

TYPE: There was no access to this unit and it was not inspected.

WATER HEATER The water heater is located on the exterior of the building in the laundry room (shared with Unit F).

Unit H.

TYPE: This is a 1 Bedroom, 1 Bathroom unit.

This unit is vacant, It currently appears to be under renovation.

INTERIORS: **Needs Attention: The carpet has areas of wear.**

KITCHEN: Serviceable The kitchen surfaces and primary components in this brief test appeared to be in serviceable condition.

HALL BATHROOM: Serviceable: The bathroom surfaces and fixtures appeared to perform correctly when operated briefly.

HEATING The heating system is, a gas wall furnace.
The pilot flame was out, so it could not be tested in operation, the Gas Co may be able to light and test this.
This appears to be a newer appliance.

ELECTRICAL The sub panel is located in the hall.
Not Acceptable: The panel cover is a home-made type and should be one that is manufactured for this particular panel box. The cover appears to be in contact with the wiring near the breaker connections.
There are two wires connected to one breaker inside the electrical panel, this is an incorrect installation and may lead to arcing and other electrical issues.

The electricity was shut off and the lights, outlets, etc were not tested.

PLUMBING The gas service appears to be shut off.

WATER HEATER The water heater is located on the exterior of the building in the laundry room.
FUEL: This is a gas water heater.
SIZE: 30 Gallon,
AGE: 16 years old, Water heaters have an expected life of 8 - 12 rears.
CONDITION: **Needs Attention: The water heater is very old and and past it's expected life span, It may leak or fail in the near future, at which time it will need to be replaced.**
STRAPPING AND SUPPORT: **Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent**

movement.

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention.**
The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.

Unit J.

TYPE:	This is a 1 Bedroom, 1 Bathroom unit.
INTERIORS:	Serviceable.
KITCHEN:	Serviceable. The kitchen surfaces and primary components in this brief test appeared to be in serviceable condition. Needs Attention: The floor squeaks under foot and is not level near the dining area.
HALL BATHROOM:	Needs Attention: The sink stopper is missing or not working. There is non-standard piping in the drain line for the sink which can cause malfunction and needs repair.
HEATING	The heating system is, a gas wall furnace. This appears to be a newer appliance. The furnace does not appear to be being used and the pilot is off. This will need cleaning, service and evaluation before it is operated.
ELECTRICAL	The sub panel is located in the hall. Not Acceptable: There are circuit breakers in the panel that do not have the proper sized wire attached to them. The breaker and the wire need to be matched in size. This can be a safety hazard if they are not correct as it can overload that part of the system. One of these was noted. There are two wires connected to one breaker inside the electrical panel, this is an incorrect installation and may lead to arcing and other electrical issues. One of these was noted. Needs Attention: There is combustible material (wood) exposed inside the pane when the cover is in place. The smoke alarm is chirping in the bedroom - this typically indicates a new battery is needed but should be checked by a specialist.
WATER HEATER	The water heater is located on the exterior of the building in the laundry room. FUEL: This is a gas water heater. SIZE: 40 Gallon AGE: 8 years old, Water heaters have an expected life of 8 - 12 years. STRAPPING AND SUPPORT: Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state

regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent movement.

TEMPERATURE / PRESSURE RELIEF VALVE: Needs Attention: The water heater safety valve(TPR) has a short drain line installed, but it is not long enough, and should be extended to take the water to a safe location (preferably to the exterior of the building).

Unit K.

TYPE:	This is a 1 Bedroom, 1 Bathroom unit.
INTERIORS:	Needs Attention: There is a hole in the door at the bathroom. The carpets have some wear.
KITCHEN:	Serviceable The kitchen surfaces and primary components are older but in this brief test appeared to be in serviceable condition with typical wear.
HALL BATHROOM:	Needs Attention: The sink stopper is missing or not working. There are areas of rough patching and repairs to the walls / ceiling. There are areas of damage that will need repair at the wall near the tub. The seal between the tub and tile wall is deteriorated. The shower walls have cracked tiles. The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time. This window is deteriorated and has a broken pane. There electric wall heater did not work.
HEATING	The heating system is, a gas wall furnace The furnace does not appear to be being used and is blocked by furniture, and the pilot is off. This will need cleaning, service and evaluation before it is operated.
ELECTRICAL	The sub panel is located in the bedroom, The panel cover is painted to the wall so was not removed, and the inside components not evaluated.
WATER HEATER	The water heater is located in the kitchen. Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location. FUEL: This is a gas water heater. SIZE: 30 Gallon, AGE: 24 years old, Water heaters have an expected life of 8 - 12 rears. CONDITION: Needs Attention:There is rust and corrosion on the pipes that enter the top of the water heater and they may need to be replaced soon. Needs Attention: The water heater is very old and and past it's expected life span, It may leak or fail in the near future, at which

time it will need to be replaced.

STRAPPING AND SUPPORT: Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent movement.

TEMPERATURE / PRESSURE RELIEF VALVE: Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.

Unit L.

TYPE:	This is a 1 Bedroom, 1 Bathroom unit.
INTERIORS:	Serviceable, with some typical wear to the surfaces.
KITCHEN:	Needs Attention: The countertops have cracked / chipped tile and worn and deteriorated grout.
HALL BATHROOM:	Needs Attention: The shower walls are worn and some deteriorated grout. The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time.
HEATING	The heating system is, a gas wall furnace The furnace does not appear to be being used and is blocked by furniture, the pilot is off. This will need cleaning, service and evaluation before it is operated.
ELECTRICAL	The sub panel is located in the bedroom, The panel cover is painted to the wall so was not removed, and the inside components not evaluated. Needs Attention: There are grounding or 3 prong outlets that did not test as having the the 3rd prong properly connected, as noted in the bathroom GFCI outlet.
WATER HEATER	The water heater is located in the kitchen. Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location. FUEL: This is a gas water heater. SIZE: 30 Gallon, AGE: 26 years old, Water heaters have an expected life of 8 - 12 rears. CONDITION: Needs Attention: There is rusting on the exterior of the water heater. The water heater is very old and and past it's expected life span, It may leak or fail in the near future, at which time it will need to be replaced. STRAPPING AND SUPPORT: Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state

regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent movement.

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention.**
The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.

Unit M.

TYPE:	This is a 1 Bedroom, 1 Bathroom unit.
INTERIORS:	Needs Attention: There are areas of patching to the ceiling in the bedroom.
KITCHEN:	Serviceable The kitchen surfaces and primary components in this brief test appeared to be in serviceable condition with some typical wear.
HALL BATHROOM:	Needs Attention: The shower walls have cracked tiles. The seam between the tub and tile wall is deteriorated and worn. The shower diverter does not work properly. The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time.
HEATING	The heating system is, a gas wall furnace Needs Attention: The pilot flame was out, so it could not be tested in operation, the Gas Co may be able to light and test this. There is rust and corrosion in the burner area, this needs to be cleaned and serviced.
ELECTRICAL	The sub panel is located in the bedroom, Needs Attention: There are knockouts missing in the panel cover.
WATER HEATER	The water heater is located in the kitchen. Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location. FUEL: This is a gas water heater. SIZE: 30 Gallon, AGE: 17 years old, Water heaters have an expected life of 8 - 12 years. CONDITION: Needs Attention: The water heater is very old and and past it's expected life span, It may leak or fail in the near future, at which time it will need to be replaced. TEMPERATURE / PRESSURE RELIEF VALVE: Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage. VENTING: Not Acceptable: The vent pipe is not properly

connected at the top of the water heater. There are scorched areas or soot staining inside the closet. This is a safety hazard and needs repair.

Unit N.

TYPE:	This is a 1 Bedroom, 1 Bathroom unit.
INTERIORS:	Needs Attention: There are areas of patching to the ceilings in the living room and bedroom.
KITCHEN:	Needs Attention: The countertops have cracked / chipped tile and worn and deteriorated grout. There is corrosion or staining on the drain piping under the sink. The faucet drips continuously, and needs repair. The garbage disposal has exposed wiring and improper connections and needs repair for safety.
HALL BATHROOM:	Needs Attention: There are areas of damage that will need repair on the wall near the tub - some previous patching was noted in this area. The flooring is peeling near the toilet. The shower walls have cracked tiles. The fixtures have general corrosion. The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time.
HEATING	The heating system is, a gas wall furnace Needs Attention: The pilot flame was out, so it could not be tested in operation, the Gas Co may be able to light and test this. There is rust and corrosion in the burner area, this needs to be cleaned and serviced.
ELECTRICAL	The sub panel is located in the bedroom, The panel cover is painted to the wall so was not removed, and the inside components not evaluated.
WATER HEATER	The water heater is located in the kitchen. Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location. FUEL: This is a gas water heater. SIZE: 30 Gallon, AGE: 12 years old, Water heaters have an expected life of 8 - 12 years. CONDITION: Needs Attention: The water heater is old and nearing the end of it's expected life span. STRAPPING AND SUPPORT: Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent movement.

TEMPERATURE / PRESSURE RELIEF VALVE: **Needs Attention.**
The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.

VENTING: **Not Acceptable: The flue pipe is disconnected and exhaust gas from the water heater are escaping. This is a safety hazard and needs to be repaired.**

Unit P.

TYPE: This is a 1 Bedroom, 1 Bathroom unit.

INTERIORS: Serviceable, There is typical wear to the surfaces.

KITCHEN: **Needs Attention: The countertops have cracked / chipped tile and worn and deteriorated grout.**
The seal between the sink and counter top is deteriorated and worn and should be repaired to prevent water entry into the cabinet below.

HALL BATHROOM: **Needs Attention: There are areas of rough patching and repairs to the walls / ceiling**
There are areas of damage that will need repair near the tub.
The seal between the tub and tile wall is deteriorated.
The shower walls have cracked tiles.
The window is in the shower wall, this can allow water into the frame and sill which may deteriorate in time.

HEATING The heating system is, a gas wall furnace
Needs Attention: The pilot flame was out, so it could not be tested in operation, the Gas Co may be able to light and test this.
There is rust and corrosion in the burner area, this needs to be cleaned and serviced.

COOLING The window type A/C unit appeared to function properly.

ELECTRICAL The sub panel is located in the bedroom, **The panel cover is painted to the wall so was not removed, and the inside components not evaluated.**
Needs Attention: The smoke alarm is chirping in the bedroom.

WATER HEATER The water heater is located in the kitchen. **Needs Attention: There is no catch pan under the water heater to prevent leaks from damaging the floor or structure, this is recommended in this location.**
FUEL: This is a gas water heater.
SIZE: 30 Gallon,
AGE: 20 years old, Water heaters have an expected life of 8 - 12 rears.

CONDITION: Needs Attention: There is rust and corrosion on the pipes that enter the top of the water heater and they may need to be replaced soon.

Needs Attention: The water heater is very old and past its expected life span, it may leak or fail in the near future, at which time it will need to be replaced.

Needs Attention: The water heater bubbles or rattles inside as it heats up, this may indicate sediment buildup in the bottom of the tank. This can reduce the effectiveness and life of the water heater and may indicate that it is at the end of its useful life.

STRAPPING AND SUPPORT: Needs Attention, the water heater needs to be properly strapped for earthquake safety as per state regulations with 2 heavy duty straps securely bolted to the building structure, and braced between the wall to prevent movement.

TEMPERATURE / PRESSURE RELIEF VALVE: Needs Attention. The temperature/ pressure relief valve does not have a correctly installed drain line installed to take the water away to a safe location as the exterior of the building. It is recommended that this be installed to prevent water damage.

Unit Q.

TYPE:	This is a Single (Studio)
INTERIORS:	Needs Attention: There is peeling paint in the window frame and areas of rough patching on the walls under the window.
KITCHEN:	There is no kitchen area in this unit.
HALL BATHROOM:	Needs Attention: There are areas of moisture stains / damage on the lower walls near the shower. The floor covering is stained near the shower. There is patching in the grout of the shower walls. The sink stopper is missing or not working. The shower enclosure door is corroded in areas.
HEATING	The heating system is, a gas wall furnace Needs Attention: The furnace does not appear to be being used, it is dirty and the pilot is off. This will need cleaning, service and evaluation before it is operated. There is rust and corrosion in the burner area, this needs to be cleaned and serviced.
ELECTRICAL	The sub panel is located in the bedroom, The panel cover is painted to the wall so was not removed, and the inside components not evaluated.

WATER HEATER The water heater is located on the exterior of the building in a closet (see 7129 C for details).

7135.

TYPE: This is a Single (Studio)

INTERIORS: **Needs Attention: There are areas with significant wear, this unit may need maintenance.**

KITCHEN: There is no kitchen area in this unit.

HALL BATHROOM: **Needs Attention: The sink stopper is missing or not working. There are areas of rough patching and repairs to the walls / ceiling . The shower walls are worn and deteriorated. There are cracked tiles. A mold like substance was noted in this area.**

Not Acceptable: There is water on the floor behind the base of the toilet.

HEATING The heating system is, a gas wall furnace
Needs Attention: The furnace does not appear to be being used and is blocked by furniture, it is dirty and the pilot is off. This will need cleaning, service and evaluation before it is operated.

COOLING The window A/C was disconnected and was not tested as part of this inspection.

ELECTRICAL The sub panel is located in the main room. **The panel cover is painted to the wall so was not removed, and the inside components not evaluated.**

Needs Attention: There are areas that are not protected with smoke detectors where it is recommended they be installed, as bedrooms or hallways.

WATER HEATER The water heater is located on the exterior of the building in a closet (see 7129 C for details).

INTERIORS

As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Minor cracks are found on interior surfaces in all buildings and are typically cosmetic in nature. The condition of floors underneath carpet, furniture and other coverings cannot be determined and is specifically excluded from the inspection and report. Only the general condition of visible portions of floors is included in this inspection. Window and door security bars are not tested or operated. Determining the condition of insulated glass is not always possible due to weather, temperature and lighting conditions. All fireplaces should be cleaned and inspected on a regular basis to make sure that it is a safe and structurally sound system. It is beyond the scope of this inspection to determine and cracking or damage to the chimney or its flue. This can only be determined by a chimney expert.

INTERIOR COMMENTS:

COMMENTS:

This is a general visual inspection, there was no destructive or intrusion testing performed. The intention of this report is to inform the client of the overall condition of the property and the material defects therein, not to itemize or list all the individual flaws.

There are areas of textured ceilings (acoustic) in the building, these may contain asbestos but would have to be tested in a laboratory to determine if this was the case.

GENERAL COMMENTS:

The interior of the building has personal items and furniture blocking the view and therefore access to parts of the property.

ADDITIONAL NOTES:

It appears that there have been alterations and upgrades to the property over the years. Modifications to the electrical, plumbing and mechanical systems as well as to the structure of the building require permits and progress inspections. It is advised to obtain any and all documentation that might possibly be available. This should be done prior to the close of escrow.

It is typical when a building is remodeled or repairs are undertaken that additional problems surface that were not noted on the inspection report. This is to be expected as walls, floors and ceilings are opened up during the work to reveal areas that were not accessible during the inspection. Any remodeling work undertaken on a property should be expected to reveal some of these problems and it is recommended that additional sums be set aside for this purpose.

This is not a mold or fungus inspection, it is advised to have a mold specialist examine the property and structure and do a complete inspection to determine the presence or not of any mold that may affect the health or safety of the occupants.

During this inspection there may be items discovered that require further inspection and/or subsequent repairs. Where further inspection by a specialty trade is advised, this is meant to be done during the inspection period, prior to the contingency expiring and certainly prior

to the close of escrow. The whole intent of this procedure being to fully discover the extent of the repairs needed and the associated costs.

INSPECTION LIMITATIONS

SPECIFIC EXCLUSIONS AND LIMITATIONS:

OUR GOAL: Our Goal is to enlighten you as to the condition of the property by identifying material defects that would significantly affect the property and therefore your decisions concerning it. We strive to add significantly to your knowledge of the building. **Thus the goal is not to identify every defect concerning the property but focus upon the material defects and thereby put you in a much better position to make an informed decision.**

GENERALIST VS. SPECIALIST A property inspector is a generalist and the inspection is conducted along generalist guidelines as listed above. The generalist job is to note material defects in the property he is inspecting. When he observes and finds one or more problems in a system of the property that affects its performance he may then refer the entire system over to a specialist in that field for a further detailed investigation. The specialist is expected to conduct a more detailed examination on that system from his specialist sphere of knowledge and training to determine all the problems with the system and the related costs of repairs. The specialist is inspecting from a depth of knowledge and experience that the generalist does not have.

REPRESENTATIVE SAMPLING: The building has many identical components such as windows, electrical outlets, etc. We inspect a representative sampling of these only. We do not move any furniture or personal belongings. This means that some deficiencies which were there may go unnoted or there may be items which are impossible to anticipate. We suggest that you plan for unforeseen repairs. This is part of property ownership as all buildings will have some of these repairs as well as normally occurring maintenance.

USE OF THE REPORT: The inspection report does not constitute a warranty, insurance policy or guarantee of any kind. It is confidential and is given solely for the use and benefit of the client and is not intended to be used for the benefit of or be relied upon by any other buyer or other third party.

PRE-INSPECTION AGREEMENT: Terms and conditions crucial to interpretation of the report are contained in a separate pre-inspection agreement. Do not use this report without consulting the pre-inspection agreement as use of this report constitutes the acceptance of all the terms, conditions and limitations in that agreement.

MOLD, MILDEW AND FUNGI:

Mold, mildew and fungus are specifically excluded from the inspection and the report. The inspector is not qualified to note the presence or absence of mold. In some cases mold has been found to be a serious problem and should not be overlooked. Because we do not inspect for mold, should you have any concerns at all about mold or the future discovery of mold, we always recommend that a buyer has a building inspected for mold during the contingency period and prior to the close of escrow.

WOOD DESTROYING ORGANISMS:

Termites, dryrot, wood rot and wood destroying organisms are covered by the structural pest control operator's report. These are not part of the inspection and the inspector will not be inspecting for them. The Business and Professions Code prohibits anyone but licensed structural pest control operators from commenting on this subject.

BUILDING CODES:

This is not a building code or code compliance inspection. That is a different type of inspection performed by the local municipality, usually during construction. It is advised to obtain all available documentation such as building permits and certificates of occupancy during the inspection contingency period.

HAZARDOUS SUBSTANCES:

Identifying hazardous substances is not part of this inspection. Items such as formaldehyde, lead based paint, asbestos, toxic or flammable chemicals and environmental hazards are not tested for and not within the scope of the inspection.

INSPECTION LIMITATIONS:

This is a limited time visual inspection. It excludes any items we cannot directly observe such as chimney interiors, furnace heat exchangers, underground piping, etc. These are specialty inspections and those inspections can be arranged using specialized equipment.

Additionally we do not inspect to see if components are installed properly. We do not have the specialized training, instruction sheets or manuals to determine if they meet manufacture's or building code requirements for installation, which can be quite varied. This is part of the specialist's inspection and any questions concerning installation would best be answered by the specialist.